



BRYAN COUNTY
PLANNING & ZONING COMMISSION and BOARD OF ADJUSTMENT
MEETING AGENDA

Meeting Date: September 1, 2020
Meeting Time: 6:30 p.m.
Hendrix Park Gymnasium
3960 Wilma Edwards Rd., Ellabell, GA

I. CALL TO ORDER

II. APPROVAL OF MINUTES

III. BOARD OF ADJUSTMENT

NEW BUSINESS

1. V#352-20, Eric Johnson, requesting a variance to Section 1119.6 of the Zoning Ordinance to reduce the side yard setback for property located at 159 Belle Island Rd., Richmond Hill. The tax map and parcel number is 0714-007.
2. V#353-20, Paul Rieffle and Kimberly Wandel, requesting a variance to Section 1000(f)(1) of the Zoning Ordinance for property located at 331 Silverstream Ln., Richmond Hill. The tax map and parcel number is 064-020.

IV. PLANNING AND ZONING COMMISSION

1. Z#230-20, Teresa Salmeron, requesting to rezone the property located at 1622 Harris Trail Rd., Richmond Hill, Georgia. The Zoning is currently B-2 and proposed is AR-1.5. The Tax maps and parcel numbers are 054-037-01 & 054-037-02.

V. OTHER BUSINESS

1. SP#12-20 17 Ventures LLC – Waivers and Modifications to Site Design Standards
2. SP#13-20 Cove 2 Coast – Waivers and Modifications to Site Design Standards
3. Unified Development Ordinance update

VI. ADJOURNMENT

Please note that agenda items may not be considered in the exact order listed, and all times shown are tentative and approximate. Documents for the record may be submitted prior to the meeting by email, fax, mail, or in person. For questions about the agenda, contact Planning at ayoung@bryan-county.org or (912) 653-5252. The meeting is accessible to the disabled. If you need special accommodations to attend or participate in the meeting per the Americans with Disabilities Act (ADA), please contact Planning at (912) 653-5252. This information can be made in alternative format as needed for persons with disabilities.

Posted: August 25, 2020

Richmond Hill



BRYAN COUNTY
PLANNING & ZONING COMMISSION and BOARD OF ADJUSTMENT
MINUTES

Meeting Date: August 4, 2020

Meeting Time: 6:30 p.m.

Attendees: Alex Floyd, Chairman
Joseph Pecenka, II, Vice-Chairman
Ronald Carswell

Stacy Watson
Stephanie Falls
Michelle Guran

Absent: Boyce Young

Staff: Audra Miller, Community Development Director
Amanda Clement, Planning Manager
Ashley Young, Planning Technician
Sara Farr-Newman, Planner II

I. CALL TO ORDER

Chairman Floyd called the meeting to order at 6:30 p.m.

II. APPROVAL OF MINUTES

Commissioner Carswell made a motion to approve the July 7, 2020 Minutes, and a second was made by Commissioner Pecenka. Vote 5:0, motion carried.

III. WORKSHOP TRAINING – 6:30 p.m. To 7:15 p.m.

Aaron Kappler, Thompson O'Brien, informed the Planning and Zoning Commissioners on the standards governing the exercise of zoning power. He reviewed the requirements of making legislative and quasi-judicial decisions as board members and the protocol on following the Zoning Ordinance.

IV. BOARD OF ADJUSTMENT

Richmond Hill

1. V#349-20, Robert & Vanessa Lacy, requesting a variance to Section 1119 (6.) of the Zoning Ordinance to reduce the required 35' rear setback to 20' for a pool screen enclosure for 35 Sanctuary Dr., Richmond Hill. Zoned R-1, PIN# 0681-016.
 - a. Commissioner Pecenka made a motion to open the public hearing, and a second was made by Commissioner Carswell. Vote 5:0, motion carried.
 - b. Ms. Farr-Newman presented the application and staff report to the Board. She stated there was no hardship found and staff recommended denial.
 - c. Chairman Floyd confirmed that the pool was permitted, and that the variance request was because the enclosure attached to the home.
 - d. Robert and Vanessa Lacy, applicants, stated that while they could build a pool, they still had safety concerns for the neighborhood kids and requested a variance for the screen enclosure.
 - e. Commissioner Falls asked the applicants if they currently had a fence.
 - f. Mr. Lacy stated no. He continued to say that the property abuts the Georgia Wildlife Preserve.
 - g. Edward and Kelly Carnine, 25 Sanctuary Dr., stated there was not to be any development in the back yards abutting the preserve as stated by many people they spoken to.
 - h. Commissioner Pecenka reaffirmed that the variance request was only for the enclosure and not the pool.
 - i. Commissioner Pecenka made a motion to close the public hearing, and a second was made by Commissioner Carswell. Vote 5:0, motion carried.
 - j. Commissioner Guran made a motion to deny the variance for V#349-20, and a second was made by Commissioner Pecenka. Vote 5:0, motion carried.

V. PLANNING AND ZONING COMMISSION

1. SD#3140-19, Bryan Land & Timber, LLC, application for a preliminary plat for the Lenox Subdivision, located on Hwy 144 and Veterans Memorial Parkway, Richmond Hill. Zoned PUD, PIN# 061-065-05/061-066.
 - a. Commissioner Pecenka made a motion to open the public hearing, and a second was made by Commissioner Watson. Vote 5:0, motion carried.
 - b. Ms. Clement advised the Commission of the history for the application, stating the original preliminary plat and PUD Amendment was denied by the Board of Commissioners, prompting the revised preliminary plat. She concluded that staff recommended approval since the revised plat complied with the approved PUD standards, with the following conditions:
 - 1) Conservation easements shall be provided for all open space and environmentally sensitive areas, located outside of right-of-way areas.
 - 2) The required sidewalk along Veterans Memorial Parkway shall be installed with the first phase of the subdivision.

Richmond Hill

- 3) The timing and phasing of required transportation improvements shall be submitted with the construction drawings and be approved by the Director of Engineering.
 - 4) The abandonment documents must be approved and recorded prior to a final plat being approved. Construction drawings shall demonstrate compliance with conditions of the abandonment.
 - c. Jason Bryant, Pittman Engineering, stated the development did comply with the existing PUD. He stated that the applicant agreed with all of the staff conditions.
 - d. Commissioner Pecenka made a motion to close the public hearing, and a second was made by Commissioner Watson. Vote 5:0, motion carried.
 - e. Commissioner Pecenka made a motion to recommend approval with staff conditions for SD#3140-19, and a second was made by Commissioner Watson. Vote 5:0, motion carried.
2. SD#3154-20, Waterways Township Owners Association, application for a preliminary plat for the Enclave North Subdivision, located on Oak Level Rd., Richmond Hill. Zoned PUD, PIN#075-001.
 - a. Commissioner Pecenka made a motion to open the public hearing, and a second was made by Commissioner Watson. Vote 5:0, motion carried.
 - b. Ms. Farr-Newman presented the application to the Commission. She stated the original Waterways PUD was approved in 2003 with an amendment in 2007. She continued stating the density as 1.4 units per acre which complied with the PUD requirements. She concluded that staff recommended approval with the following conditions:
 - 1) All road names and a new neighborhood name shall be approved by the 911 Director prior to the approval of the final plat.
 - 2) The location of sewer and water easements shall be approved by the Engineering Director prior to the approval of the final plat.
 - c. Commissioner Falls asked about the single entrance to the Waterway's Subdivision, raising concerns on safety and evacuation.
 - d. Commissioner Carswell also stated the concern of safety issues.
 - e. Ms. Miller explained that the master plan for Waterways had previously been approved by the Board of Commissioners and that this plat complied with the approved plan.
 - f. C. J. Chance, with Hussey Gay Bell representing Waterway's, stated that this was an extension of the Enclave neighborhood and approximately 70% of those lots were already sold and the owner agreed with staff's requirements and conditions.
 - g. Commissioner Falls made a motion to close the public hearing, and a second was made by Commissioner Pecenka. Vote 5:0, motion carried.
 - h. Commissioner Watson made a motion to recommend approval with staff conditions for SD#3154-20, and a second was made by Commissioner Pecenka. Vote 3:2, Commissioner Guran and Commissioner Carswell opposed.

VI. OTHER BUSINESS

VII. ADJOURNMENT

Richmond Hill

Commissioner Falls made a motion to adjourn, and a second was made by Commissioner Carswell. Vote 5:0, motion carried

BRYAN COUNTY BOARD OF ADJUSTMENT

CASE V#352-20

Public Hearing Date: September 1, 2020

REGARDING THE APPLICATION OF: Eric Johnson, requesting a variance for property located at 159 Belle Island Ct, PIN# 0714-007. The applicant is requesting a variance in order to reduce a side setback to 8 feet.	Staff Report By: Sara Farr-Newman Dated: August 25, 2020
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I. Application Summary

Requested Action: Public hearing and consideration of a variance requested by Eric Johnson for 159 Belle Island Ct, PIN# 0714-007, to permit an addition with an 8 foot side setback. The property is zoned R-1, which requires a 15 foot side setback.

Applicant and Owner: Eric Lucas Johnson
159 Belle Island Ct
Richmond Hill, GA 31324

Applicable Regulations:

- The State of Georgia, Title 36. Local Government Provisions Applicable to Counties and Municipal Corporations, Chapter 66. Zoning Procedures, Georgia Code O.C.G.A. 36-66
- Appendix B – Zoning, Article V. – Appeals, Variances, and Administrative Relief, Section 501. - Variances, Bryan County Code of Ordinances. Per the County Ordinance, a 4/5 majority is required to approve a variance.
- Appendix B – Zoning, Article XI. – Uses Permitted in Districts, Section 1119. – Setback Requirements for homes, duplexes, apartments, townhouses, and manufactured homes by zoning district.

II. General Information

1. Application: A variance application was submitted by Eric Johnson on July 6, 2020. After reviewing the application, the Director certified the application as being generally complete on July 7, 2020.

2. Notice: Public notice for this application was as follows:

- A. Legal notice was published in the Bryan County News on **August 13, 2020**.
- B. Notice was mailed on **August 13, 2020** to surrounding landowners within 300' of the exterior boundaries of the property.
- D. An on-site notice was posted on **August 11, 2020**.

3. Background:

The subject property is located in the Belle Island neighborhood at 159 Belle Island Court and is zoned R-1. There is an existing two story house and pool on the property. The house is approximately 3,228 heated square feet with four bedrooms, three full bathrooms, and one half bath according to the Bryan County Tax Assessor. Only a small portion of the rear of the lot located along the marsh has the potential for wetlands and is located in a special flood hazard area. The applicant is proposing an addition to be located on the north side of the house in order to accommodate additional living area and a full bathroom. The addition as proposed would encroach into the required 15 foot setback and result in a reduced 8 foot setback.

4. Requested Variance: Per Appendix B – Zoning, Article XI. – Uses Permitted in Districts, Section 1119. – Setback Requirements for homes, duplexes, apartments, townhouses, and manufactured homes by zoning district of the Bryan County Code of Ordinances, the side setback requirement for property zoned R-1 is 15 feet. The applicant is proposing an 8 foot side setback, a reduction of 7 feet, or approximately 47%.

5. Exhibits: The following Exhibits are attached hereto as referenced. All application documents were received at the Bryan County Community Development office on July 6, 2020, unless otherwise noted.

“A” Exhibits- Application:

- A-1 Variance Application
- A-2 Additional hardship explanation (08-07-2020)

“B” Exhibits- Agency Comments:

- B-1 Fire Chief Comments (08-03-2020)
- B-2 Engineering Comments (08-07-2020)
- B-3 Public Health Comments (08-07-2020)

“C” Exhibits- Bryan County Supplements

- C-1 Overview Map
- C-2 Location Map
- C-3 Notification Map
- C-4 Zoning Map

“D” Exhibits- Public Comment:

None received

**III. Analysis Under Article V. – Appeals, Variances and Administrative Relief,
Section 501. - Variances:**

A variance may be granted by the Board of Adjustment if it finds that:

1. Unnecessary hardship would result from the strict application of the ordinance. It shall not be necessary to demonstrate that, in the absence of the variance, no reasonable use can be made of the property;

Staff Findings: The applicant indicated that their hardship is based on the existing layout of the home not accommodating their current and future needs. The home currently does not have a bedroom or full bathroom in the downstairs, which limits the use for the applicant’s older parents who may need to move into the house in the future. It also potentially limits the applicant’s use of the house as they get older. The addition is planned to include these features so the house can accommodate this future use. While the layout of the house and its location on the lot does make siting this addition difficult, the need for this additional space is not a hardship. The house currently complies with all setbacks and the need for additional space is not considered a hardship. The house can continue to be used as it exists and could either be renovated or an alternative location for the addition considered.

2. The hardship results from conditions that are peculiar to the property, such as location, size or topography. Hardships resulting from personal circumstances, as well as hardships resulting from conditions that are common to the neighborhood or the general public may not be the basis for granting a variance.

Staff Findings: Staff did not identify a hardship. The lot is 0.69 acres, a similar size to other lots along the marsh in the neighborhood. The location and topography do not create any hardships as they are similar to other lots in the area, which have the same setback requirements. The hardship described by the applicant, needing additional space to construct another bathroom and bedroom on the first floor,

would be considered a hardship based on personal circumstances, which cannot be the basis for granting a variance.

3. The hardship did not result from actions taken by the applicant or the property owner. The act of purchasing property with knowledge that circumstances exist that may justify granting a variance shall not be regarded as a self-created hardship.

Staff Findings: No hardship was identified. Although staff understands that the applicants are looking for ways to modify their home in order to allow them to age in place and accommodate the needs of their parents, hardships cannot be based on personal circumstances.

4. The requested variance is consistent with the spirit, purpose and intent of the ordinance, such that public safety is secured, and substantial justice is achieved.

Staff Findings: The requested variance is not consistent with the intent of the ordinance, which is to provide consistent setbacks that result in predicable and compatible development that protects the public health, safety, and general welfare.

IV. Staff Recommendation

Staff recommends denial of the requested variance to reduce the setback to 8 feet, because the variance criteria are not met.

V. Board of Adjustment Decision

Decision: The Board of Adjustment may approve the variance as requested, or it may approve the variance requested subject to conditions, or it may deny the requested variance.

The Board of Adjustment may continue the hearing for additional information from the applicant, additional public input or for deliberation.

► **Motion Regarding Decision:** Having considered the evidence in the record, upon motion by Commissioner _____, second by Commissioner _____, and by vote of __ to __, the Board of Adjustment hereby approves as proposed/approves with provisions/denies the proposed variance.

“A” Exhibits – Application

Bryan County Board of Commissioners

Exhibit A-1



Community Development Department

VARIANCE APPLICATION

Refer to Article V, Section 501 of the Zoning Regulations for additional information regarding Variance requirements.

Application Fee: \$150.00

Applicant:

- Property Owner
- Authorized Agent

Applicant Name: Eric Lucas Johnson
 Address: 159 Belle Island Ct
 City: Richmond Hill State: GA Zip: 31324
 Phone: (912) 445-1766 Email: eljohnsonusn@gmail.com

Property Owner (if not applicant): _____
 Address: _____
 City: _____ State: _____ Zip: _____ Phone: _____

Property Information: General Location: The Bluff at Belle Island Subdivision Phase VI
 PIN Number (Map & Parcel): 07140067 Current Zoning District(s): 20th GM District

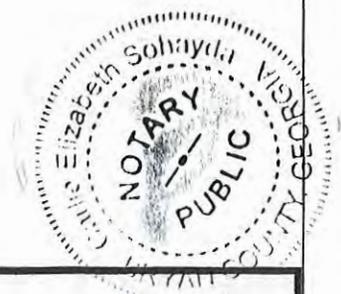
What section of the Subdivision or Zoning Code are you requesting a variance for? Setbacks

Description of Variance Requested: Requesting variance to extend house structure to within 8' of property line

Applicant Certification: I hereby certify that I am the owner or authorized agent of the property being proposed for subdivision, and that I have answered all of the questions contained herein and know the same to be true and correct.

Eric L. Johnson
 Applicant Signature

7/2/20
 Date



FOR OFFICE USE ONLY

150⁰⁰
ck# 1842

Case #: V#352-20 Date Received: 07/06/2020 Fee Paid Initial: [Signature]

Variance Review and Timing

The typical process and timeframe for reviewing variance applications is as follows. The 15-day review period will not begin until the submitted application is certified as being complete.

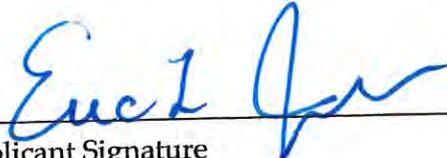
Completeness Review	5 business days after Application Submittal
Planning & Zoning (P&Z) Commission Public Hearing	30-60 days after Completeness Certification

Variance Application Checklist

The following information must be included with your submittal. Any omission of the items below will result in a delay of your request. Place a check next to each item included with your submission.

- Completed Application
- Proof of Ownership
- Verification of Paid Taxes
- Disclosure Statement
- Authorization by Property Owner
- Written narrative justifying request under the Variance Criteria
- One (1) 8 ½ x 11 inch, and One (1) full size copy of the proposed site plan prepared in accordance with the Site Plan Checklist or residential plot plan prepared in accordance with the Residential Plot Plan Checklist

Applicant Acknowledgement: I hereby acknowledge that I have reviewed the application checklist, and further acknowledge that any omission of the items above will cause a delay in the review of my request.



 Applicant Signature

7/2/20

 Date

Variance Criteria

Variances may only be granted if it is found that the application meets the criteria below. A separate sheet(s) of paper may be used if additional space is needed.

- 1. Unnecessary hardship would result from the strict application of the ordinance. It shall not be necessary to demonstrate that, in the absence of the variance, no reasonable use can be made of the property;

No hardship

- 2. The hardship results from conditions that are peculiar to the property, such as location, size or topography. Hardships resulting from personal circumstances, as well as hardships resulting from conditions that are common to the neighborhood or the general public may not be the basis for granting a variance;

N/A

- 3. The hardship did not result from actions taken by the applicant or the property owner. The act of purchasing property with knowledge that circumstances exist that may justify granting a variance shall not be regarded as a self-created hardship.

N/A

- 4. The requested variance is consistent with the spirit, purpose and intent of the ordinance, such that public safety is secured, and substantial justice is achieved.

This variance is requested in order to add bathroom downstairs to allow for a downstairs bedroom (currently all are upstairs).

This will allow for elderly parents to visit & allow for extending our residence in current house as we age.

If you have questions, contact the Community Development Department at one of our office locations.

51 North Courthouse Street
 Pembroke, GA 31321
 Phone: 912-653-3893
 Fax: 912-653-3864

66 Capt. Matthew Freeman Drive
 Richmond Hill, GA 31324
 Phone: 912-756-3177
 Fax: 912-756-7951

FOR OFFICE USE ONLY

Pembroke

Completeness Certified: [Signature] 7/7/2020 P&Z Public Hearing Date: Sept. 1, 2020

2

305 0052

CLERK OF SUPERIOR COURT
BRYAN COUNTY, GA

BRYAN COUNTY
CLERK OF COURTS

03 APR -3 AM 10:19
Bryan County, Georgia
Real Estate Transfer Tax

Paid 237.00
Date 4-3-03

[Signature]
Clerk of Superior Court

(SPACE ABOVE THIS LINE FOR RECORDING DATE)

STATE OF GEORGIA }
COUNTY OF BRYAN }

WARRANTY DEED

THIS INDENTURE, made and entered into this 31st day of March, 2003, between MARK L. WALLACE and HOLLY WALLACE, as Parties of the First Part, and ERIC L. JOHNSON and KELLY B. JOHNSON, AS JOINT TENANTS WITH RIGHT OF SURVIVORSHIP AND NOT AS TENANTS IN COMMON, as Parties of the Second Part.

- WITNESSETH -

THAT the said Parties of the First Part, for and in consideration of the sum of Ten and No/100 (\$10.00) Dollars and other valuable considerations to them in hand paid by the said Parties of the Second Part, at and before the sealing of these presents, the receipt of which is hereby acknowledged, have granted, bargained, sold and conveyed, and by these presents do grant, bargain, sell and convey unto the said Parties of the Second Part, their heirs, executors, administrators, successors and assigns, the following described property, to-wit:

ALL that certain lot, tract or parcel of land situate, lying and being in the 20th G.M.D. of Bryan County, Georgia, being known as LOT ONE HUNDRED FORTY-SIX (146), THE BLUFF AT BELLE ISLAND, A SUBDIVISION, PHASE VI, according to a subdivision map or plat prepared by Paul D. Wilder, Georgia Registered Land Surveyor No. 1559, dated April 20, 1989, and recorded in Plat Slide 396, Folio 10, Bryan County Records, said Subdivision Map by this reference being incorporated herein and made a part hereof.

SUBJECT, NEVERTHELESS, to all utility and drainage easements, affecting said property, heretofore filed of record; to that certain Declaration of Protective Covenants dated August 5, 1983, as recorded in the aforesaid Clerk's Office in Deed Record Book 5-O, Folio 344; as amended by Supplementary Declaration of Covenants and Restrictions dated June 10, 1985, and recorded in the aforesaid Clerk's Office in Deed Record Book 6-C, Folio 392; as further amended by Second Supplementary Declaration of Covenants and Restrictions dated February 29, 1988, and recorded in the aforesaid Clerk's Office in Deed Record Book 7-E, Folio 105; and as further amended by Third Supplementary Declaration of Covenants and Restrictions dated July 12, 1989,

HENDERSON &
HARVEY, LLC
Post Office Box 580
Richmond Hill, GA 31224
(912) 756-2631
Our File: 36353-01-10

BRYAN COUNTY

and recorded in the aforesaid Clerk's Office in Deed Record Book 7-Q, Folio 373, and as further amended by Fourth Supplementary Declaration of Covenants and Restrictions dated March 22, 1996 and recorded in the aforesaid Clerk's Office in Deed Record Book 8-P, Folio 491, and to any lawful claims by the State of Georgia, any governmental body of the State or Federal government or other persons who may have or may claim to such portions of said property as may be "marshaled" rights of upper and lower riparian owners in and to the waters of creeks or branches crossing or adjoining the property, and the natural flow thereof free from diminution or pollution; all valid and outstanding easements providing drainage or surface flow of waters, whether by grant of record or acquired through prescription or adverse possession; and all reservations, exceptions and prior conveyances, heretofore filed of record in the Office of the Clerk of the Superior Court of Bryan County, Georgia, of any oil, gas or other minerals, including associated hydrocarbons and mineral substances, royalty and other mineral interests, including such reservations to International Paper Realty Company contained in that certain Warranty Deed dated September 22, 1982, as recorded in the Office of the Clerk of the Superior Court of Bryan County, Georgia, in Deed Record Book 5-K, Page 69.

TO HAVE AND TO HOLD the above-described property, together with all and singular, the rights, members, hereditaments and appurtenances unto the same belonging or in anywise appertaining, unto the said Parties of the Second Part, their heirs, executors, administrators, successors and assigns, in fee simple forever;

AND, the said Parties of the First Part, for the consideration above named, hereby expressly covenant with the said Parties of the Second Part, their heirs, executors, administrators, successors and assigns, that the said Parties of the First Part have full and complete title to the above-described property, and that they have the absolute right to convey the same, and that there are no liens or encumbrances against said property by which the title thereto can be impaired in any manner;

AND LASTLY, the said Parties of the First Part, for themselves and their heirs, executors, administrators, successors and assigns, will warrant and forever defend the right and title to the above-described property unto the said Parties of the Second Part, their heirs, executors, administrators, successors and assigns, against the claims of all persons whomsoever.

IN WITNESS WHEREOF, the said Parties of the First Part have hereunto set their hands and affixed their seals on the day and year first above written as the date hereof.

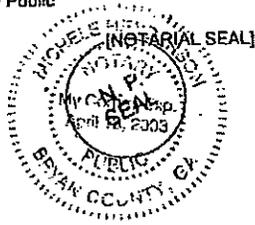
Signed, sealed and delivered in the presence of:

Jimmy Sousa
Witness

Michael M. [Signature]
Notary Public

Mark L. Wallace (L.S.)
MARK L. WALLACE

Holly Wallace (L.S.)
HOLLY WALLACE



Bryan County Board of Commissioners

Community Development Department



VERIFICATION OF PAID TAXES

ERJ The undersigned verifies that all Bryan County property taxes, billed to date to the parcel listed below, have been paid in full to the Tax Commissioner of Bryan County, Georgia.

ERJ The undersigned verifies that all Bryan County fire and garbage taxes for the parcel listed below have been paid in full to the Tax Commissioner of Bryan County, Georgia.

0714007
~~0714006~~

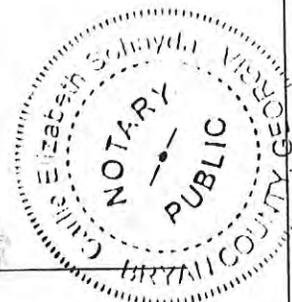
Parcel Identification Number

Erin J. Johnson

Signature of Applicant

7/2/20

Date



BRYAN COUNTY TAX COMMISSIONER'S USE ONLY

Payment of all taxes billed to date for the above referenced parcel have been verified as paid current and confirmed by the signature below.

Name: _____

Title: _____

Signature: _____

Date: _____

IF APPLYING FOR A MOBILE HOME PERMIT, PLEASE COMPLETE THE FOLLOWING:

Manufactured Home:	_____	Make
	_____	Model
	_____	Year
	_____	Serial #

_____ The undersigned verifies that a current Bryan County Decal has been issued for the mobile home referenced above.

Signature: _____

Date: _____



Carrol Ann Coleman
Bryan County Tax Commissioner
 PO Box 447
 Pembroke, GA 31321-0447
 (912) 653-3880

2019 Ad Valorem Tax Notice

IMPORTANT NOTICES

Certain persons are eligible for certain homestead exemptions from ad valorem taxation. In addition to the regular homestead exemption authorized for all homeowners, certain elderly persons are entitled to additional exemptions. The full law relating to each exemption must be referred to in order to determine eligibility for the exemption. If you are eligible for one of these exemptions and are not now receiving the benefit of the exemption, you must apply for the exemption not later than April 1, 2020 in order to receive the exemption in future years. For more information on eligibility for exemptions or on the proper method of applying for an exemption, you may contact:

Bryan County Tax Commissioner
 11 N Courthouse St, PO Box 447
 Pembroke, GA 31321
 (912) 653-3880

RETURN SERVICE REQUESTED 14

 *****AUTO**SCH 5-DIGIT 31324 3630 1 AV 0.380
 JOHNSON ERIC L & KELLY B
 159 BELLE ISLAND CT
 RICHMOND HILL GA 31324 6043

If you feel that your property has been assigned too high a value for tax purposes by the Board of Tax Assessors, you should file a tax return reducing the value not later than April 1, 2020 in order to have an opportunity to have this value lowered for next years' taxes. Information on filing a return can be obtained from the address above.

2019 State, County & School Ad Valorem Tax Notice

Bill Number	Account Number	Fair Market Value	Assessed Value	Tax District	Acreage	Homestead Code
2019 010447	10044R	338,800	135,520	03	.69	L1
Map Number / Property Description / Street Address		Tax Entity	Exemptions	Net Taxable	Tax Rate	Tax Amount
0714 007		COUNTY M&O	10,000	105,520	0.561	903.36
		SCHOOL M&O	2,000	133,520	15.075	2,012.81
LOT 146 BELLE ISLAND PH6 P8396		SCHOOL BND		135,520	1.500	203.28
		FIRE TAX				200.00
159 BELLE ISLAND CT		SOLID WSTE				200.00
Local Option Sales Tax Credit Information						
Mill reduction due to sales tax roll back		2.567				
Tax savings due to roll back		342.75				
Important Messages - Please Read					Total Taxes	3,519.45
If you receive a property tax bill on property you no longer own and you are not responsible for the bill, please forward the bill on to the new owner or contact our office with the information. You can now pay your tax bills online! Visit us on the web at: www.bryancountytax.com There will be a convenience fee of 2.50% charged by the vendor for this service.					Interest 1%	
					Late Filing Fee	
					10% Penalty	
					Back Taxes	
					Payments Rcvd	
					TOTAL DUE	3,519.45
This gradual reduction and elimination of the state property tax and the reduction in your tax bill this year is the result of property tax relief passed by the Governor and the House of Representatives and the Georgia State Senate.					DATE DUE	11/15/2019

PLEASE DETACH HERE AND RETURN THIS PORTION. MAKING SURE THAT OUR RETURN ADDRESS APPEARS THROUGH THE WINDOW IN THE ENVELOPE PRIOR TO SEALING

JOHNSON ERIC L & KELLY B
 159 BELLE ISLAND COURT
 RICHMOND HILL GA 31324

PAYMENT INSTRUCTIONS

Please Make Check or Money Order Payable to:
Bryan County Tax Office
 Please write the bill number(s) on your check.
 If a receipt is desired, please include a stamped, self-addressed envelope.
 If taxes are to be paid by a mortgage company, send them this portion only.
 If you are paying after the due date, please call our office for the full amount due.
 Interest on unpaid tax bills is applied in compliance with GA Code 48-2-40.
 Penalty on unpaid tax bills is applied in compliance with GA Code 48-2-44.



2019007801

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Carrol Ann Coleman
Bryan County Tax Commissioner
 PO Box 447
 Pembroke, GA 31321-0447



Account Number	Bill Number
10044R	2019 010447
Map Number/Property Description/Street Address	
0714 007 LOT 146 BELLE ISLAND PH6 P8396 159 BELLE ISLAND CT	
DATE DUE	TOTAL DUE
11/15/2019	3,519.45

Bryan County Board of Commissioners



Community Development Department

DISCLOSURE STATEMENT

Title 36, chapter 67A-3 of O.C.G.A. requires that when any applicant for rezoning action has made, within two years immediately preceding the filing of the applicant's application for the rezoning action, campaign contributions aggregating \$250.00 or more to a local government official who will consider the application, to file a disclosure report.

No, I have not made any campaign contributions to County Officials voting on this application exceeding \$250 in the past two years.

Yes, I have made campaign contributions to County Officials voting on this application exceeding \$250 in the past two years.

To Whom: _____

Value of Contribution: _____

Date of Contribution: _____

I have read and understand the above and hereby agree to all that is required by me as the applicant.

Erick John

Signature of Applicant

Personally appeared before me

Applicant (Print)

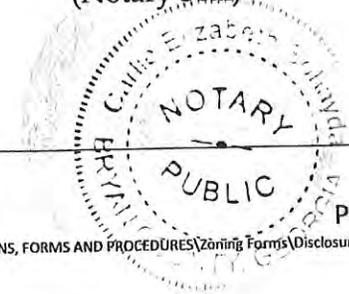
Who on oath deposes and says that the above is true to the best of his or her knowledge and belief.

This 2 day of July 2020

Carli Elizabeth Jorayda

Notary Public

(Notary Seal)





Bryan County Board of Commissioners

Community Development Department

AUTHORIZATION OF PROPERTY OWNER

Kelley B. Johnson
I, Eric L. Johnson, being duly sworn upon his/her oath, being of sound mind and legal age deposes and states; That he/she is the owner of the property which is subject matter of the attached application, as is shown in the records of Bryan County, Georgia

I authorize the person named below to act as applicant in the pursuit of a Variance application. Further, I authorize the staff of the Bryan County Community Development Department to inspect the premises which are the subject of this application. I acknowledge and accept that I will be bound by the decision of the board of commissioners, including any conditions of the rezoning, if the application is approved.

Name of Applicant: Eric Lucas Johnson & Kelly B. Johnson

Address: 159 Belle Island Ct

City: Richmond Hill State: GA Zip Code: 31324

Telephone Number: (912) 445-1766 Email: e.ljohnsonusn@gmail.com

Eric L. Johnson
Signature of Owner

7/2/20
Date

Eric L. Johnson
Owners Name (Print)

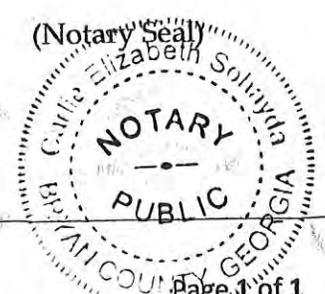
Personally appeared before me

Owner (Print)

Who swears before that the information contained in this authorization is true and correct to the best of his/her knowledge and belief.

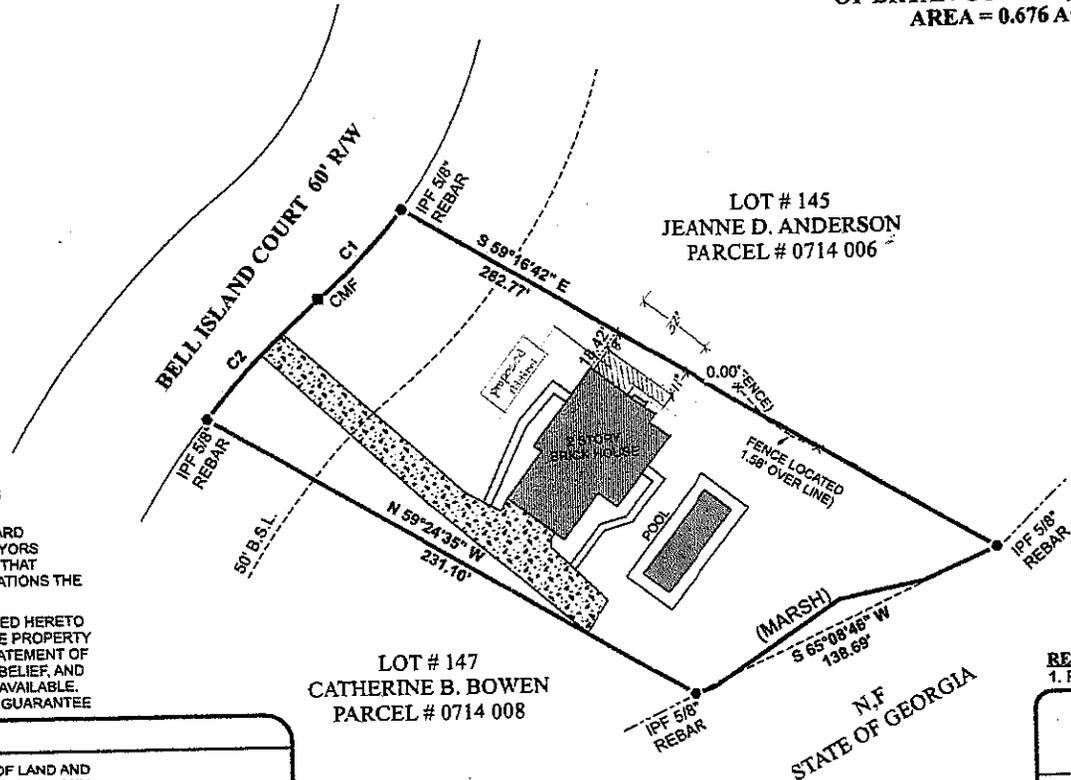
This Day July 2 of 2020

Carie Elizabeth Schayda
Notary Public



CURVE	BEARING	HORIZ DIST	RADIUS	ARC	DELTA	TANGENT
C1	N43°22'09"E	50.56'	209.41'	50.68'	13°52'00"	25.47'
C2	N44°09'05"E	67.44'	297.41'	67.59'	13°01'15"	33.94'

**ASBUILT SURVEY OF LOT # 46, THE BLUFF
AT BELL ISLAND SUBDIVISION PHASE VI
LOCATED IN THE 20TH th G.M. DISTRICT
OF BRYAN COUNTY, GEORGIA
AREA = 0.676 ACRES**



RESERVED FOR THE CLERK OF COURT

1. THE FIELD DATA WAS COLLECTED USING A TOPCON - ES TOTAL STATION, SOKKIA GRX2, AND A TESLA DATA COLLECTOR.
2. THIS PROPERTY IS NOT LOCATED IN A FEDERAL FLOOD AREA AS INDICATED BY THE F.I.R.M. OFFICIAL FLOOD HAZARD MAPS.
3. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 100,000 FEET.
4. TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF ALL ANGLES, BEARINGS, MEASUREMENTS OF COURSES, DISTANCES AND MONUMENTS LOCATIONS ARE AS SHOWN, HAVE BEEN PROVEN BY A LAND SURVEY AND IN MY OPINION THIS IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF GEORGIA LAW 1978*.
5. THIS SURVEY COMPLIES WITH BOTH THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE OFFICIAL CODE OF GEORGIA ANNOTATED (OCGA) 15-6-67) IN THAT WHERE A CONFLICT EXISTS BETWEEN THESE TWO SETS OF SPECIFICATIONS THE REQUIREMENTS OF THE LAW PREVAIL.
6. WILLIAM MARK GLISSON, THE LAND SURVEYOR WHOSE SEAL IS AFFIXED HERETO DOES NOT GUARANTEE THAT ALL EASEMENTS WHICH MAY AFFECT THE PROPERTY ARE SHOWN. THE CERTIFICATION, AS SHOWN HEREON, IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, AND BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. THE CERTIFICATION IS NOT A EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE

SURVEYOR CERTIFICATION

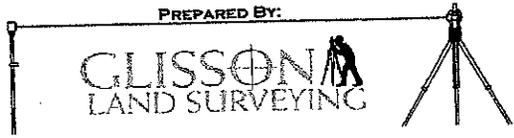
THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY OR ANY USE OF PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.C.A. SECTION 15-6-67.

WILLIAM MARK GLISSON RLS #3316 DATE 6/01/2020



LOT # 147
CATHERINE B. BOWEN
PARCEL # 0714 008

LOT # 145
JEANNE D. ANDERSON
PARCEL # 0714 006



PREPARED BY:
WILLIAM MARK GLISSON - REGISTERED LAND SURVEYOR
GEORGIA PLS # 3316 - SOUTH CAROLINA PLS # 31964

377 TUCKER ROAD, CLAXTON, GEORGIA 30417
RINCON: (912) 826 - 5283 CLAXTON: (912) 282 - 7052
WMGLISSON@BELLSOUTH.NET

REFERENCES:
1. PLBK 396 PG 10

SURVEY FOR:
ERIC JOHNSON

COUNTY: BRYAN STATE: GEORGIA

GMD: 20TH SUBD: BELL ISLAND

DATE: 06/01/2020 SCALE: 1" = 50'

FILE NUMBER: 20141

TOTAL AREA: = 0.676 AC. LOT: 46

FIELD SURVEY DATE: 05/26/2020

Exhibit A-2

From: [Amanda Clement](#)
To: [Eric Johnson](#); [Ashley Young](#)
Cc: [Sara Farr-Newman](#)
Date: Friday, August 7, 2020 8:36:16 AM

Good morning Eric,

We are in receipt of this additional information and will include it with your application for consideration.

Thank you,

Amanda

From: Eric Johnson [mailto:eljohnsonusn@gmail.com]
Sent: Friday, August 7, 2020 7:01 AM
To: Ashley Young <ayoung@bryan-county.org>
Cc: Amanda Clement <aclement@bryan-county.org>; Sara Farr-Newman <snewman@bryan-county.org>
Subject: Re: Development Review Committee Meeting

GM Ashley, Amanda and Sara,

Thank you for your time and candid feedback during yesterday's meeting. Please see comments below as a follow up to our discussion.

Concerning hardship of our request for variance, please consider the following:

- Current home (of 17 yrs) has no downstairs bedroom and only half bath.
- My elderly parents (88 and 82 yrs old) are unable to visit / over night stay due to lack of downstairs accommodations. Please note they live approximately 275 miles away.
- I will potentially serve as primary caregiver should they not be able to live on their own. Due to our being employed locally, this would require parent's relocation to our current home/area vice Kelly and I moving to their area.

Again, this humble request is in the spirit of preparing / positioning our home to care for aging parents as well as allow Kelly and I to remain in this residence for the foreseeable future.

Your consideration is sincerely appreciated.

Best Regards,

Eric L. Johnson
(912) 445-1766

On Mon, Aug 3, 2020 at 1:54 PM Ashley Young <ayoung@bryan-county.org> wrote:

Good afternoon,

The Development Review Committee will have the August meeting on Thursday, August
th

6 at 9:00 a.m. via a GoTo Meeting. Attached you will find a copy of the agenda and applications for Thursday's meeting. We will also have this information available during the meeting. The DRC will be reviewing the applications at this time. You are welcome to attend. On the agenda, you will find the time slot for your application. Please let us know if you have any questions. Below, you will find the information for the GoTo Meeting:

DRC Meeting

Thu, Aug 6, 2020 9:00 AM - 12:00 PM (EDT)

Please join my meeting from your computer, tablet or smartphone.

<https://global.gotomeeting.com/join/950715301>

You can also dial in using your phone.

United States: [+1 \(872\) 240-3412](tel:+18722403412)

Access Code: 950-715-301

New to GoToMeeting? Get the app now and be ready when your first meeting starts:

<https://global.gotomeeting.com/install/950715301>

Sincerely,

Ashley Young

Bryan County Community Development
66 Captain Matthew Freeman Dr.
Richmond Hill, GA 31324
912.459.6518

“B” Exhibits – Agency Comments

Exhibit B-1



BRYAN COUNTY COMMUNITY DEVELOPMENT DEPARTMENT

51 North Courthouse Street
P.O. Box 1071
Pembroke, Georgia 31321
912-653-3893
(Fax) 653-3864

66 Capt. Matthew Freeman Drive
Suite 201
Richmond Hill, Georgia 31324
912-756-7953
(Fax) 756-7951

Article XIII, Section 302 of the Bryan County Zoning Ordinance requires that we secure comments from the Engineering Director, Fire Chief, County Health Director, and Public Works Director on the following zoning application:

CASE # V#352-20 PZ Date: Sept. 1, 2020 Comments by: Friday, Aug. 7, 2020

Zoning Request: Variance to Sect. 1119.6 to reduce side yard setback.

Filed by: Eric Johnson

Owners: same

Property address: 159 Belle Island Ct

Map and Parcel # 0714-007

Comments Sign and Date

Engineering Director: _____

Fire Chief: No Issue [Signature] 7/3/20

County Health Director: _____

Public Works Director: _____

Bryan County Schools (optional): _____



**BRYAN COUNTY
COMMUNITY DEVELOPMENT DEPARTMENT**

51 North Courthouse Street
P.O. Box 1071
Pembroke, Georgia 31321
912-653-3893
(Fax) 653-3864

66 Capt. Matthew Freeman Drive
Suite 201
Richmond Hill, Georgia 31324
912-756-7953
(Fax) 756-7951

Article XIII, Section 302 of the Bryan County Zoning Ordinance requires that we secure comments from the Engineering Director, Fire Chief, County Health Director, and Public Works Director on the following zoning application:

CASE # _____ **PZ Date:** _____ **Comments by:** _____

Zoning Request: _____

Filed by: _____

Owners: _____

Property address: _____

Map and Parcel # _____

Comments Sign and Date

Engineering Director: _____

Fire Chief: _____

County Health Director: _____

Public Works Director: _____

Bryan County Schools (optional): _____

Exhibit B-3



BRYAN COUNTY COMMUNITY DEVELOPMENT DEPARTMENT

51 North Courthouse Street
P.O. Box 1071
Pembroke, Georgia 31321
912-653-3893
(Fax) 653-3864

66 Capt. Matthew Freeman Drive
Suite 201
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Zoning Request: Variance to Sect. 1119.6 to reduce side yard setback.

Filed by: Eric Johnson

Owners: same

Property address: 159 Belle Island Ct

Map and Parcel # 0714-007

Comments Sign and Date

Engineering Director: No comments.

Fire Chief: _____

County Health Director: If a bathroom is added, a

septic system modification is required. 8.7.20 (initials)

Public Works Director: _____

Bryan County Schools (optional): _____

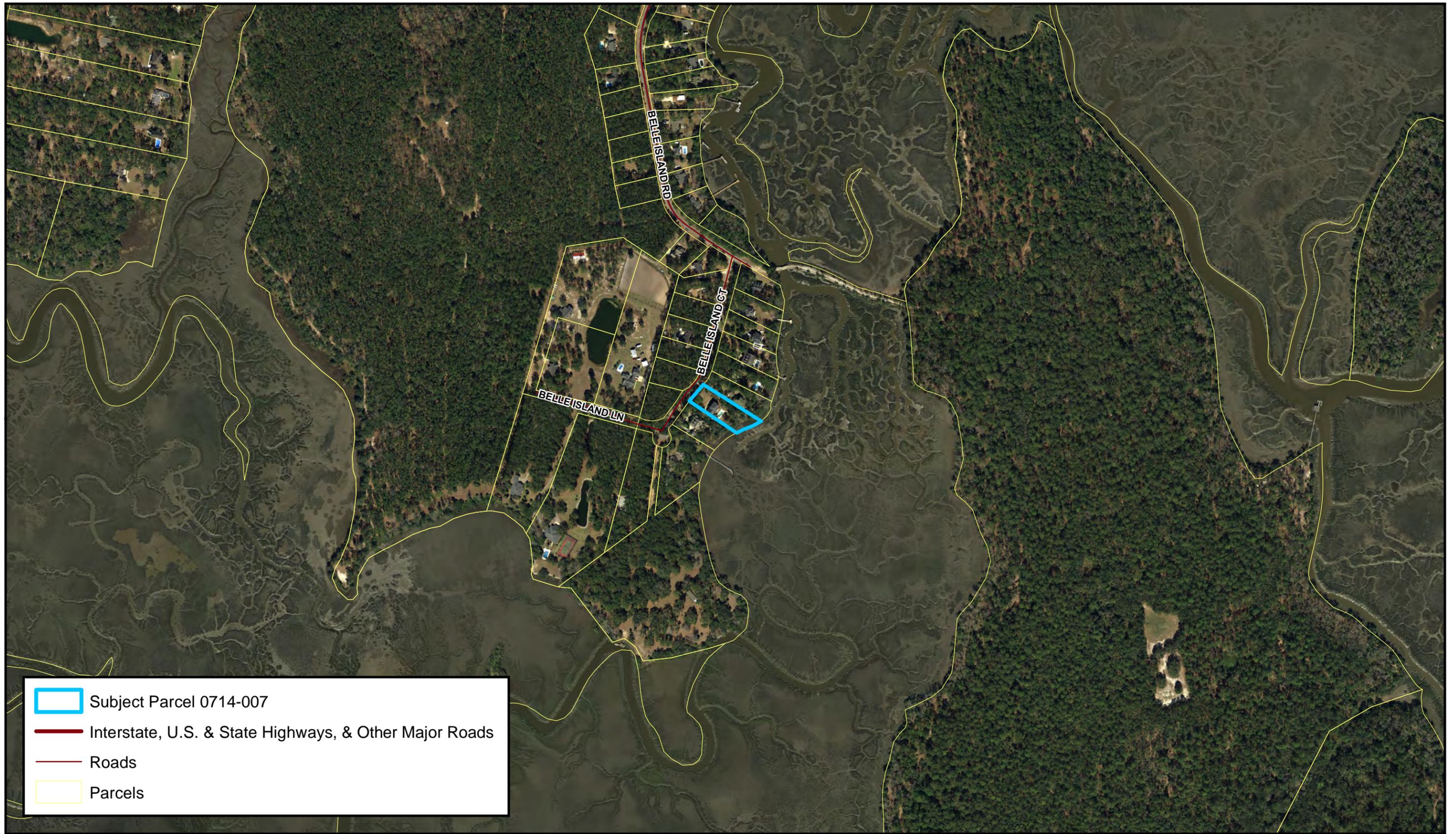
“C” Exhibits – Bryan County Supplements

Exhibit C-1



- Interstate, U.S. & State Highways, & Other Major Roads
- Roads
- Subject Parcel 0714-007
- Parcels





Subject Parcel 0714-007
 Interstate, U.S. & State Highways, & Other Major Roads
 Roads
 Parcels





Notified Owners
 Subject Parcel 0714-007
 Interstate, U.S. & State Highways, & Other Major Roads
 Roads
 Parcels

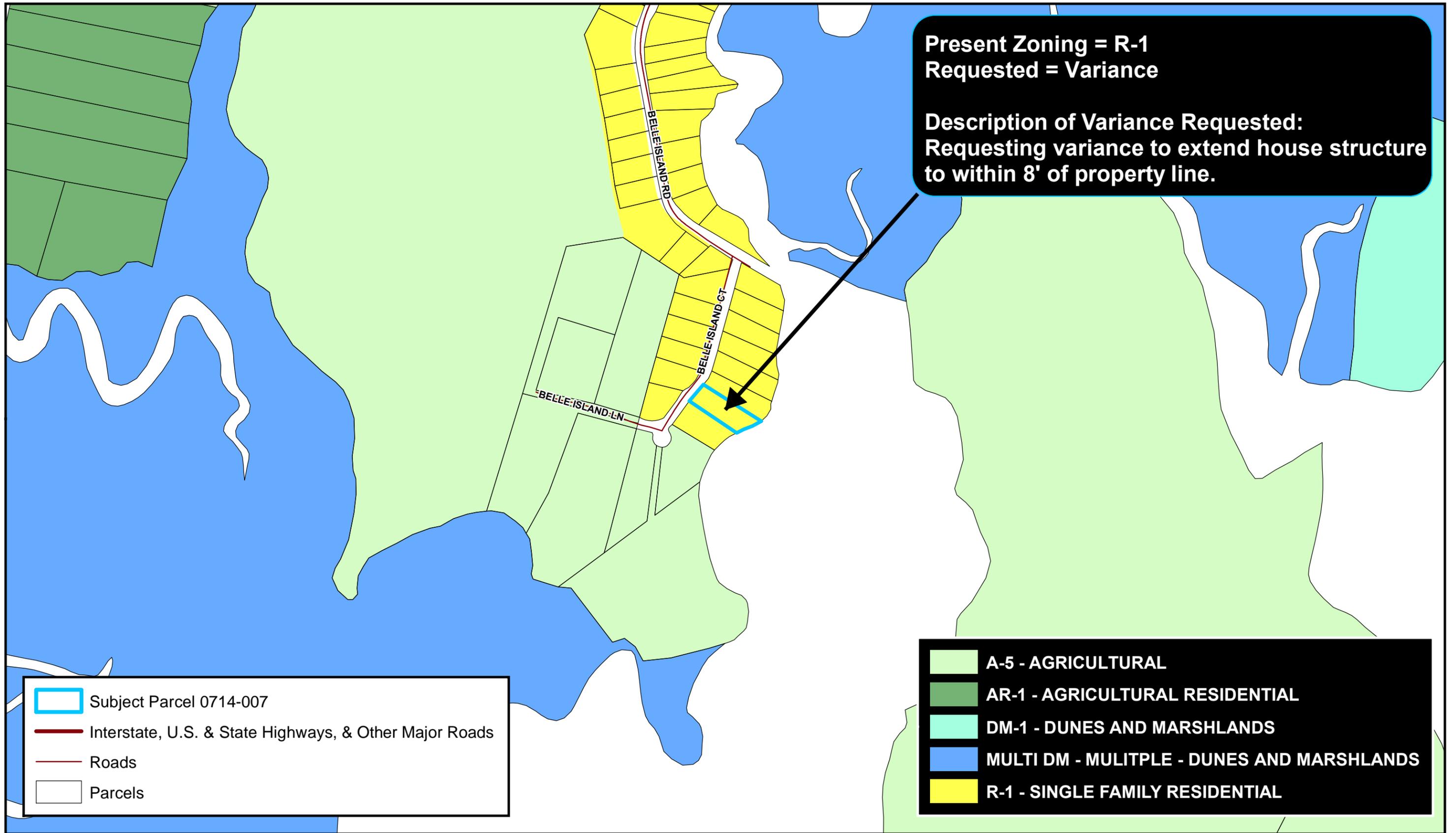
PARCEL #	OWNER
071 003	VICKERY MARVIN M
071 005 02	KESSLER CHRISTOPHER BRANDON & JAIME
071 005 03	WILKERSON TRACY G & HEATHER FAWN
071 006	GARRETT SARA PEAVY
071 006 01	WILKERSON TRACY GENE & WILKERSON HEATHER
0714 004	SCOTT BARRY & SANDRA B
0714 005	BEAN MICHAEL VERNER & BEAN LINDA
0714 006	ANDERSON JEANNE D
0714 007	JOHNSON ERIC L & KELLY B
0714 008	BOWEN CATHERINE B
0714 018	HORIZON HOME BUILDERS OF SAVANNAH LLC
0714 019	HORIZON HOME BUILDERS OF SAVANNAH LLC
0714 020	HORIZON HOME BUILDERS OF SAVANNAH LLC
0714 021	HATFIELD JOHN W & JOYCE



Notification Map
Eric Lucas Johnson
Case V# 352-20

Exhibit C-3

DISCLAIMER
 Information represented in this compilation from numerous digital GIS resources is solely for planning and illustration purposes. It is not suitable for site specific decision making. The accuracy of this product is dependent upon the source data and therefore the accuracy cannot be guaranteed. The areas depicted in this GIS Map Product are approximate, and is not necessarily accurate to surveying or engineering standards. Bryan County, City of Richmond Hill, or City of Pembroke assumes no responsibility or liability for the information contained therein or if information is used for other than its intended purpose. Reproduction, dissemination, altering this data is not authorized without prior consent. Bryan County, City of Richmond Hill, or City of Pembroke assumes no responsibility or liability for modified data.



“D” Exhibits – Public Comment

No Comments Submitted

BRYAN COUNTY BOARD OF ADJUSTMENT

CASE V#353-20

Public Hearing Date: September 1, 2020

<p>REGARDING THE APPLICATION OF: Paul Rieffle and Kimberly Wandel, requesting a variance for property located at 331 Silver Stream Lane identified by PIN# 064-020. The applicant is requesting a variance to reduce the side setback to 25 feet and place an accessory building in the front yard.</p>	<p>Staff Report By: Sara Farr-Newman Dated: August 25, 2020</p>
---	---

I. Application Summary

Requested Action: Public hearing and consideration of a variance request by Paul Rieffle and Kimberly Wandel for 331 Silver Stream Lane, PIN# 0640-020, to reduce the side setback to 25 feet in order to permit the construction of a detached garage in the front yard. The property is zoned A-5 and requires a 50 foot side setback.

Applicant and Owner: Paul Rieffle and Kimberly Wandel
331 Silverstream Lane
Richmond Hill, GA 31224

Applicable Regulations:

- The State of Georgia, Title 36. Local Government Provisions Applicable to Counties and Municipal Corporations, Chapter 66. Zoning Procedures, Georgia Code O.C.G.A. 36-66
- Appendix B – Zoning, Article V. – Appeals, Variances, and Administrative Relief, Section 501. - Variances, Bryan County Code of Ordinances. Per the County Ordinance, a 4/5 majority is required to approve a variance.
- Appendix B – Zoning, Article XI. – Uses permitted in Districts, Section 1120. – Setback Requirements for accessory structures by zoning district.
- Appendix B – Zoning, Article X. – Development Standards of General Applicability, Section 1000. – General rules for accessory uses and structures (f)

II. General Information

1. Application: A variance application was submitted by Paul Rieffle and Kimberly Wandel on July 16, 2020. After reviewing the application, the Director certified the application as being generally complete on July 28, 2020.

2. Notice: Public notice for this application was as follows:

A. Legal notice was published in the Bryan County News on **August 13, 2020**.

B. Notice was mailed on **August 13, 2020** to surrounding landowners within 300' of the exterior boundaries of the property.

D. An on-site notice was posted on **August 11, 2020**.

3. Background:

The applicant is requesting a variance to reduce the southern side setback for the property located at 331 Silver Stream Lane, which is zoned A-5. The subject property is identified as lot 4 of Silver Stream Plantation with the rear of the property located along the marsh. There is currently an existing house on the property, south of the Silver Stream which runs east to west through the property to the marsh. There is also an existing smaller garage located south of the house. The new garage is proposed to be 50 feet by 35 feet, a total of 1,750 square feet.

4. Requested Variance: Per Appendix B – Zoning, Article XI. – Uses permitted in Districts, Section 1120. – Setback Requirements for accessory structures by zoning district of the Bryan County Code of Ordinances, the required side setback for A-5 zoning is 50 feet. The applicant is requesting a reduction of 25 feet to permit a 25 foot setback, or a 50% reduction. All other setbacks will be met.

Per Appendix B – Zoning, Article X. – Development Standards of General Applicability, Section 1000. – General rules for accessory uses and structures (f), accessory buildings are only permitted in the front yard in an A-5 zoning when they do not encroach into any required yard or easement. The applicant is requesting to encroach into the side setback and place the garage in the front yard.

5. Exhibits: The following Exhibits are attached hereto as referenced. All application documents were received at the Bryan County Community Development office on July 16, 2020, unless otherwise noted.

“A” Exhibits- Application:

A-1 Variance Application

A-2 Site Plan (08-10-2020)

A-3 Narrative (08-10-2020)

“B” Exhibits- Agency Comments:

- B-1 Fire Chief Comments (08-03-2020)
- B-2 Engineering Comments (08-07-2020)
- B-3 Public Health Comments (08-07-2020)

“C” Exhibits- Bryan County Supplements

- C-1 Overview Map
- C-2 Location Map
- C-3 Notification Map
- C-4 Zoning Map

“D” Exhibits- Public Comment:

None received

**III. Analysis Under Article V. – Appeals, Variances and Administrative Relief,
Section 501. - Variances:**

A variance may be granted by the Board of Adjustment if it finds that:

1. Unnecessary hardship would result from the strict application of the ordinance. It shall not be necessary to demonstrate that, in the absence of the variance, no reasonable use can be made of the property;

Staff Findings: The applicant identified several hardships when requesting the variance, including the existing tree coverage on the property as well as view sheds from the house. The applicant indicated that if the garage were to be placed on the northern side of the driveway, which would result in the setbacks being met, they would have to remove mature trees. They also indicated that if the proposed garage were placed in front of the house meeting the setbacks, it would be directly in front of the house and impede the existing views. They also indicated that the location of the stream, Silver Stream, on the property constrains the location of the new garage.

Staff does not identify the impact on the view shed from the house as a hardship; however, the existing conditions of the lot including tree coverage and the location of Silver Stream do create a hardship. Additionally, the northern portion of the lot has the possibility of wetland and a large portion of the rear

of the lot is located in a special flood hazard area, as shown on F.I.R.M. Panel 13029C0375D. These conditions constrain the location of the garage in terms of placement and setbacks.

2. The hardship results from conditions that are peculiar to the property, such as location, size or topography. Hardships resulting from personal circumstances, as well as hardships resulting from conditions that are common to the neighborhood or the general public may not be the basis for granting a variance.

Staff Findings: The applicant indicated the unique topography of the lot as the reason for the hardships identified. There is a stream running east to west across the property that constrains placement of buildings and a large number of mature trees that must be accommodated in order to avoid removing them. The location of the garage as proposed would not require the applicant to remove any trees. If the site were moved to the other side of the driveway, the applicant indicated a large area of mature trees would require removal. While the size and shape of the lot is common within the neighborhood, the location and number of trees and the existing stream do create a unique condition.

3. The hardship did not result from actions taken by the applicant or the property owner. The act of purchasing property with knowledge that circumstances exist that may justify granting a variance shall not be regarded as a self-created hardship.

Staff Findings: The hardships related to the topography of the property are not the result of actions taken by the applicant. These are existing conditions of the property.

4. The requested variance is consistent with the spirit, purpose and intent of the ordinance, such that public safety is secured, and substantial justice is achieved.

Staff Findings: The requested variance is consistent with the ordinance, because it accommodates significant natural features such as wetlands, a stream, and trees on the site while still providing a large side setback and maintaining the rural character of the A-5 zoning.

IV. Staff Recommendation

Staff recommends approval of the requested variance to reduce the side setback to 25 feet and place the building in the front yard, because the variance criteria are met.

V. Board of Adjustment Decision

Decision: The Board of Adjustment may approve the variance as requested, or it may approve the variance requested subject to conditions, or it may deny the requested variance.

The Board of Adjustment may continue the hearing for additional information from the applicant, additional public input or for deliberation.

► **Motion Regarding Decision:** Having considered the evidence in the record, upon motion by Commissioner _____, second by Commissioner _____, and by vote of __ to __, the Board of Adjustment hereby approves as proposed/approves with provisions/denies the proposed variance.

“A” Exhibits – Application

Bryan County Board of Commissioners

Exhibit A-1



Community Development Department

VARIANCE APPLICATION

Refer to Article V, Section 501 of the Zoning Regulations for additional information regarding Variance requirements.

Application Fee: \$150.00

CELL-412-721-2664 412-849-2278

Applicant:

Applicant Name: PAUL RIEFFLE + KIMBERLY WANDEL

Property Owner

Address: 331 SILVERSTREAM LN

Authorized Agent

City: RICHMOND HILL State: GA Zip: 31324

HOUSE-Phone: 912-727-2907 Email: PAUL@RSPORT.US
KIWANDEL@USA.NET

Property Owner (if not applicant): _____

Address: _____

City: _____ State: _____ Zip: _____ Phone: _____

Property Information: General Location: _____

PIN Number (Map & Parcel): 064-020 Current Zoning District(s): A5

What section of the Subdivision or Zoning Code are you requesting a variance for? 1000 F L

Description of Variance Requested: 25 FOOT SET BACK

Applicant Certification: I hereby certify that I am the owner or authorized agent of the property being proposed for subdivision, and that I have answered all of the questions contained herein and know the same to be true and correct.

Paul Rieffle

7-16-2020

Applicant Signature

Date

Kimberly Wandel

7/16/20

FOR OFFICE USE ONLY

CL# 1105 150

Case #: V353-20

Date Received: 07/16/2020

Fee Paid

Initial: WR

Variance Review and Timing

The typical process and timeframe for reviewing variance applications is as follows. The 15-day review period will not begin until the submitted application is certified as being complete.

Completeness Review	<u>5</u> business days after Application Submittal
Planning & Zoning (P&Z) Commission Public Hearing	<u>30-60</u> days after Completeness Certification

Variance Application Checklist

The following information must be included with your submittal. Any omission of the items below will result in a delay of your request. Place a check next to each item included with your submission.

- Completed Application
- Proof of Ownership
- Verification of Paid Taxes
- Disclosure Statement
- Authorization by Property Owner *N/A* ✓
- Written narrative justifying request under the Variance Criteria ✓
- One (1) 8 ½ x 11 inch, and One (1) full size copy of the proposed site plan prepared in accordance with the Site Plan Checklist or residential plot plan prepared in accordance with the Residential Plot Plan Checklist

Applicant Acknowledgement: I hereby acknowledge that I have reviewed the application checklist, and further acknowledge that any omission of the items above will cause a delay in the review of my request.

Robert R. [Signature]

 Applicant Signature
[Signature]

7-16-2020

 Date *7/16/20*

Bryan County Board of Commissioners

Community Development Department



VERIFICATION OF PAID TAXES

The undersigned verifies that all Bryan County property taxes, billed to date to the parcel listed below, have been paid in full to the Tax Commissioner of Bryan County, Georgia.

The undersigned verifies that all Bryan County fire and garbage taxes for the parcel listed below have been paid in full to the Tax Commissioner of Bryan County, Georgia.

064-020

Parcel Identification Number

[Signature]
Signature of Applicant

7-6-2020
Date

BRYAN COUNTY TAX COMMISSIONER'S USE ONLY

Payment of all taxes billed to date for the above referenced parcel have been verified as paid current and confirmed by the signature below.

Name: Heidi Page

Title: Tax Clerk

Signature: [Signature]

Date: 7/6/20

IF APPLYING FOR A MOBILE HOME PERMIT, PLEASE COMPLETE THE FOLLOWING:

Manufactured Home:

N/A Make
N/A Model
N/A Year
N/A Serial #

The undersigned verifies that a current Bryan County Decal has been issued for the mobile home referenced above.

Signature: _____

Date: _____

FMUMFB
FMUMFB01

CARROL ANN COLEMAN BRYAN COUNTY TAX COMM
Clerk HF Date 2020 07 06 Sequenc 084012

7/06/20
8:40:35

Bill Number . . .	2019 016632	Acct 9228R19	Fair Mkt Val	699,900
Taxpayer Name. .	RIEFFLE PAUL & WANDEL KIMBERLY		Bill Date	2019 08 28
Additional Name.			Due Date	2019 11 15
Address Line 1 .			H/S Code	LC
Address Line 2 .	331 SILVERSTREAM LANE		Lender Code	
City ST Zip 4. .	RICHMOND HILL GA 31324		Under Appeal	
Loctn/Desc . . .	LOT 4 SILVER STREAM PS/329 P.		Bankruptcy	
Map Blk Par Sub.	064 020	Dist 03	Check Notes	
Original Bill	Adj & Charges	Payments	Descriptions	This Tran
6,180.28		6,180.28-	Taxes	_____
			Assessment Pen	_____
			Interest	_____
			Costs	_____
			Late Penalty	_____
			Other Penalty	_____
			TOTALS	_____
6,180.28		6,180.28-	Payment/Adjust	(P/A) P
		Last T/A Date	Reason Code	(F13) 00
		PP 2019 11 02		

Email Address:

F1=Options

F3=Return

F4=Delete

F8=Adj to Total

Variance Criteria

Variances may only be granted if it is found that the application meets the criteria below. A separate sheet(s) of paper may be used if additional space is needed.

- 1. Unnecessary hardship would result from the strict application of the ordinance. It shall not be necessary to demonstrate that, in the absence of the variance, no reasonable use can be made of the property;

See attached

- 2. The hardship results from conditions that are peculiar to the property, such as location, size or topography. Hardships resulting from personal circumstances, as well as hardships resulting from conditions that are common to the neighborhood or the general public may not be the basis for granting a variance;

See attached

- 3. The hardship did not result from actions taken by the applicant or the property owner. The act of purchasing property with knowledge that circumstances exist that may justify granting a variance shall not be regarded as a self-created hardship.

See attached

- 4. The requested variance is consistent with the spirit, purpose and intent of the ordinance, such that public safety is secured, and substantial justice is achieved.

See attached

If you have questions, contact the Community Development Department at one of our office locations.

51 North Courthouse Street
 Pembroke, GA 31321
 Phone: 912-653-3893
 Fax: 912-653-3864

66 Capt. Matthew Freeman Drive
 Richmond Hill, GA 31324
 Phone: 912-756-3177
 Fax: 912-756-7951

FOR OFFICE USE ONLY

Completeness Certified: 7/28/20 *ht* P&Z Public Hearing Date: 9/1/20

Bryan County Board of Commissioners



Community Development Department

DISCLOSURE STATEMENT

Title 36, chapter 67A-3 of O.C.G.A. requires that when any applicant for rezoning action has made, within two years immediately preceding the filing of the applicant's application for the rezoning action, campaign contributions aggregating \$250.00 or more to a local government official who will consider the application, to file a disclosure report.

No, I have not made any campaign contributions to County Officials voting on this application exceeding \$250 in the past two years.

Yes, I have made campaign contributions to County Officials voting on this application exceeding \$250 in the past two years.

To Whom: _____

Value of Contribution: _____

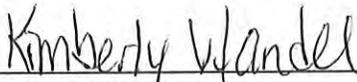
Date of Contribution: _____

I have read and understand the above and hereby agree to all that is required by me as the applicant.



Signature of Applicant

Personally appeared before me



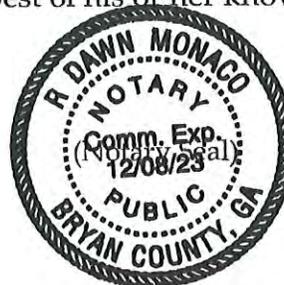
Applicant (Print)
PAUL RIEFFLE

Who on oath deposes and says that the above is true to the best of his or her knowledge and belief.

This 16 day of July 2020



Notary Public



Variances may only be granted if it is found that the application meets the criteria below:

1. Unnecessary hardship would result from the strict application of the ordinance. It shall not be necessary to demonstrate that, in the absence of the variance, no reasonable use can be made of the property;

We are requesting that the 50 Setback Line be reduced to 25 feet on the property line between our property on Silverstream lane on the side facing our neighbors, the Meguiars.

The best location for the garage we wish to build to be located would be on that side of the property 25 feet off the property line. That location would allow the building to have access to utilities, it would be close enough to the smaller garage and the house and it would maintain the natural setting that currently exists at the residence.

If we had to use a 50 foot setback, the garage and its apron would be pushed into the existing driveway – causing it to be difficult to access it with the vehicles going into it and causing it to be difficult to get past the garage.

Using the requested 25 foot building setback line also puts it into a desirable setting because it does not require that any trees be cut down to accommodate it. If we had to use the 50 foot setback or put the building in another area, we would have to take down many large, healthy mature trees.

We need to move the truck, equipment, tractor, and small trailer out of the weather to protect them. This also keeps the property uncluttered and neat in appearance.

The size of the garage was determined by taking into account the dimensions of the vehicles and equipment that we wish to put into it WITHOUT making the building too large to be aesthetically pleasing on the property. Our design also includes putting siding and trim on the entire building that matches the two other structures already on the property.

The adjoining property owners, the Meguiars, support the change to a 25 foot setback and have told us that they are just fine with the building of the garage, its design and its size.

2. The hardship results from conditions that are peculiar to the property, such as location, size or topography. Hardships resulting from personal circumstances, as well as hardships resulting from conditions that are common to the neighborhood or the general public may not be the basis for granting a variance;

Our lot and the one next door are long, narrow lots that back into the marsh. Though both properties are multiple acres, there is not another spot on the property that would work out well. The placement of the garage building is really dictated by the need to have proximity to the main house and the smaller garage. Any other location on the property would result in a building difficult to access and it would not look natural in any other available spot.

3. The hardship did not result from actions taken by the applicant or the property owner. The act of purchasing property with knowledge that circumstances exist that may justify granting a variance shall not be regarded as a self-created hardship;

The existing area where the garage needs to be located does not require that any trees be cut down to accommodate it. If we had to use the 50 foot setback or put the building in another area, we would have to take down many large, healthy mature trees.

4. The requested variance is consistent with the spirit, purpose and intent of the ordinance, such that public safety is secured, and substantial justice is achieved;

The property is mostly tree-covered and our house and the Meguiars' house are perfectly situated so that the peaceful aesthetic of both properties are maintained. Placing the new garage in the location using the 25 foot building setback line maintains and supports it as well. The adjoining property owners support the change to a 25 foot setback and have no issue with the building of the garage, its design or its size.

Moving the truck, equipment, tractor and small trailer out of the weather also keeps the property uncluttered and neat in appearance.

The size and design of the garage allow it to be consistent with the buildings on our property and that of the Meguiars and aesthetically pleasing on the property. Especially since the garage will be painted and trimmed to align visually with our house and small garage.

July 14, 2020

To: Bryan County Planning and Zoning

Reference: Paul Rieffie & Kimberly Wandel

Lot 331 SilverStream Lane, Richmond Hill, Ga. Bryan County

Construction of Garage

We okay the 25ft setback from the property line

We okay the proposed site plan.

We okay the design and size of the proposed garage

Richard & Carolyn Meguiar

Lot 5 Silverstream Lane/160 Silverstream Lane

Richmond Hill, Ga. 31324

Carolyn A. Meguiar
Richard A. Meguiar



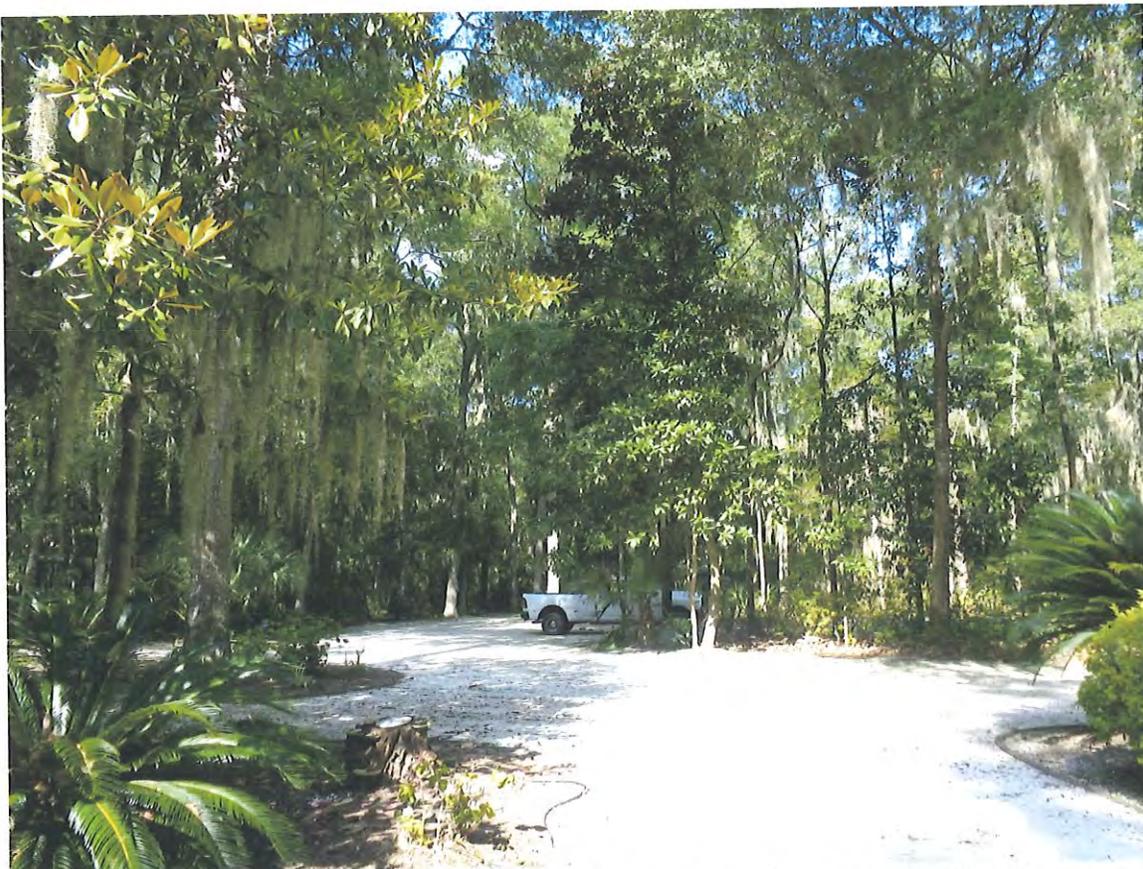
Front of the house



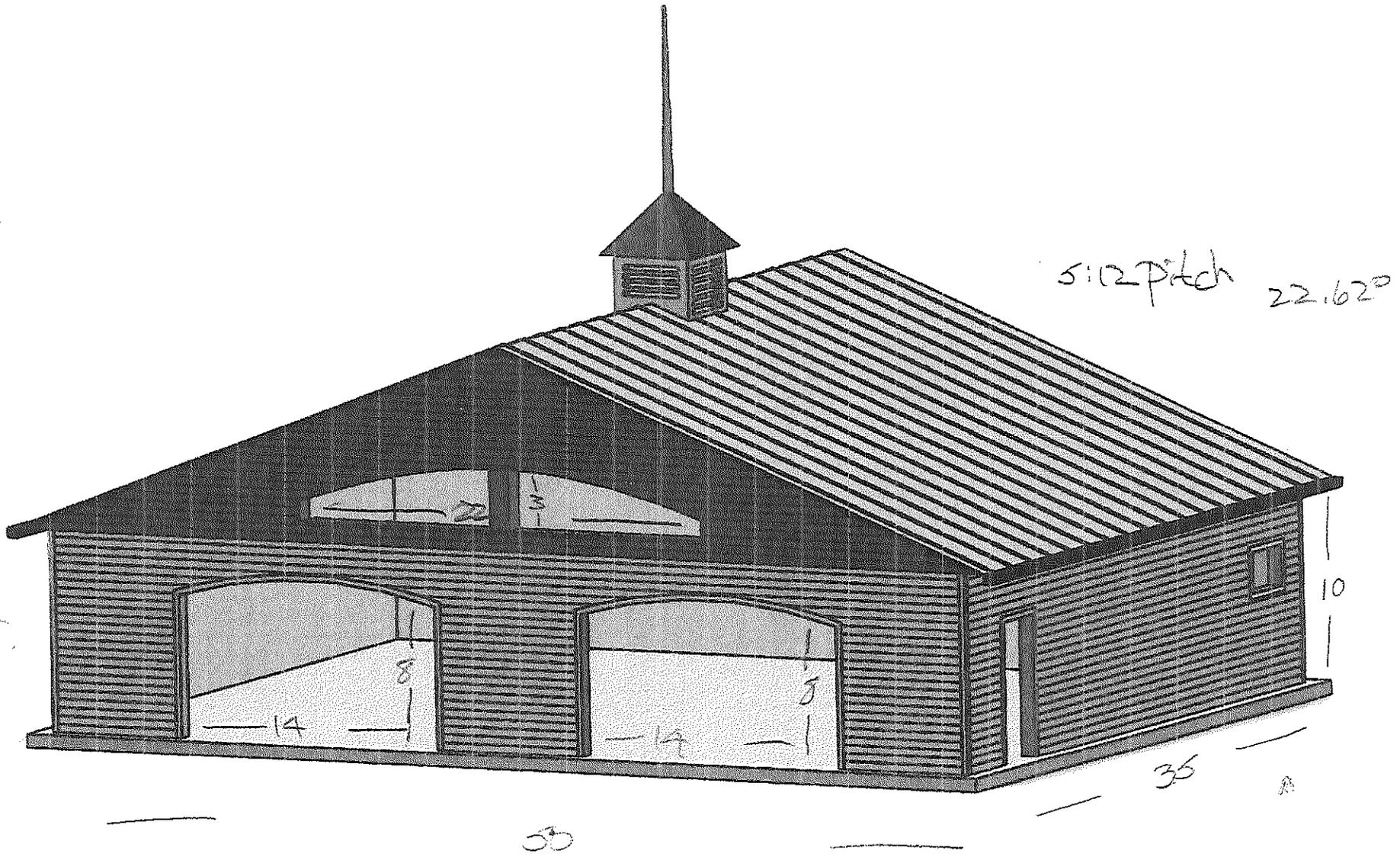
View of the proposed garage location with the truck to give a reference of the distance to the driveway from the building



View of the driveway coming into the property

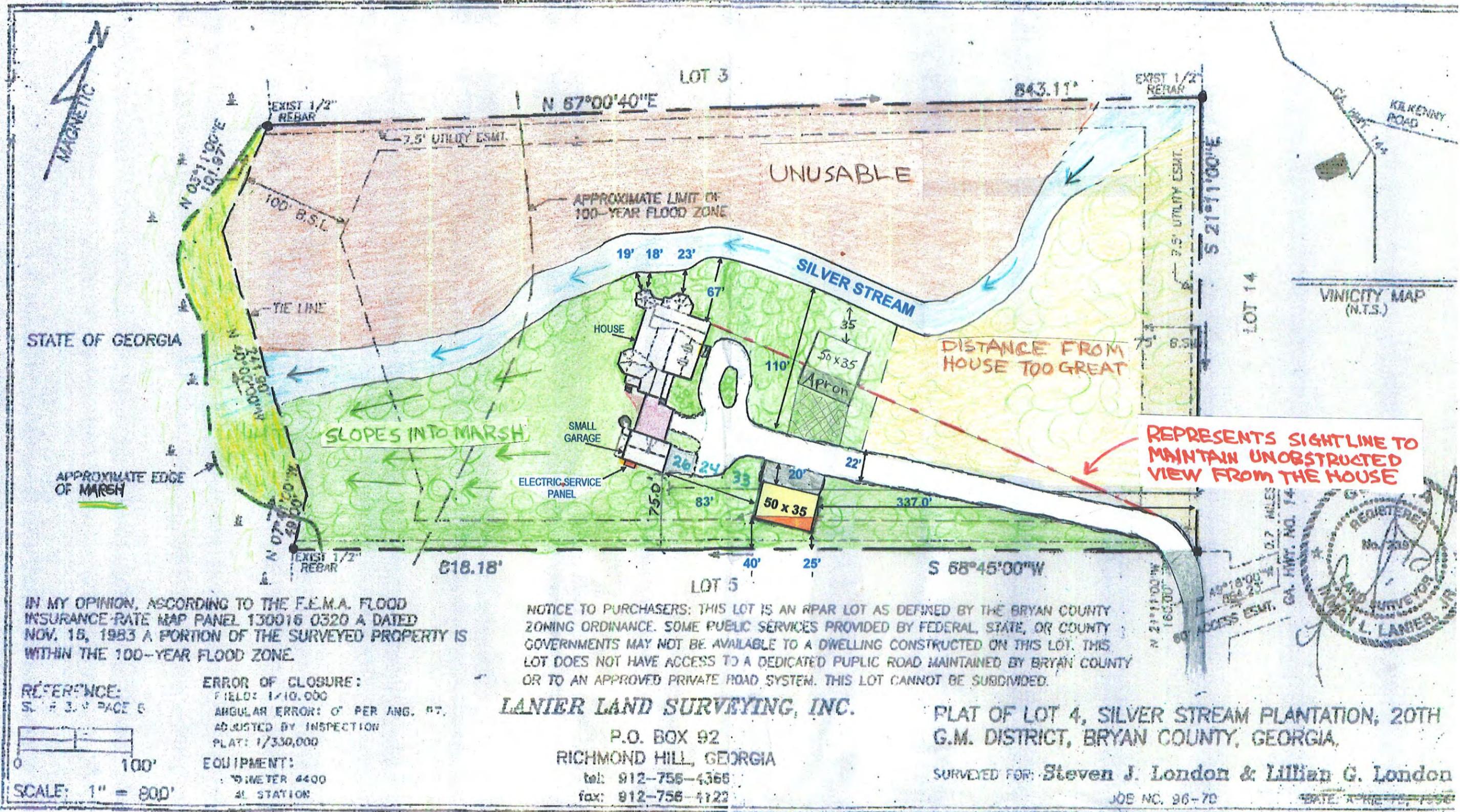


View looking out to the driveway showing the tree buffer before the garage area and the truck on the proposed garage apron



0/74/20

V#353-20 Paul Rieffle & Kimberly Wandel



IN MY OPINION, ACCORDING TO THE F.E.M.A. FLOOD INSURANCE-RATE MAP PANEL 130016 0320 A DATED NOV. 15, 1983 A PORTION OF THE SURVEYED PROPERTY IS WITHIN THE 100-YEAR FLOOD ZONE.

NOTICE TO PURCHASERS: THIS LOT IS AN RPAR LOT AS DEFINED BY THE BRYAN COUNTY ZONING ORDINANCE. SOME PUBLIC SERVICES PROVIDED BY FEDERAL, STATE, OR COUNTY GOVERNMENTS MAY NOT BE AVAILABLE TO A DWELLING CONSTRUCTED ON THIS LOT. THIS LOT DOES NOT HAVE ACCESS TO A DEDICATED PUBLIC ROAD MAINTAINED BY BRYAN COUNTY OR TO AN APPROVED PRIVATE ROAD SYSTEM. THIS LOT CANNOT BE SUBDIVIDED.

REFERENCE:
S. # 3, PAGE 5

ERROR OF CLOSURE:
FIELD: 1/10,000
ANGULAR ERROR: 0" PER ANG. 07,
ADJUSTED BY INSPECTION
PLAT: 1/330,000
EQUIPMENT:
DIPLOMETER 4400
41 STATION

LANIER LAND SURVEYING, INC.

P.O. BOX 92
RICHMOND HILL, GEORGIA
tel: 912-756-4366
fax: 912-756-4123

PLAT OF LOT 4, SILVER STREAM PLANTATION, 20TH G.M. DISTRICT, BRYAN COUNTY, GEORGIA.

SURVEYED FOR: Steven J. London & Lillian G. London

SCALE: 1" = 800'

JOB NO. 96-70

DATE: APR 15, 1996

Exhibit A-3

V#353-20 Paul Rieffle & Kimberly Wandel

8/10/2020

Responses to 'Variance Criteria' Questions on page 3 of Variance application

1) Building on the proposed site utilizes an existing area that requires very little clearing and also provides good proximity to our residence. The design and trim of the garage is complementary to the existing house and will add useful value to the property. If we were forced to build the garage on the other side of the driveway, it would be directly in front of the house, creating an undesirable view from the house. This would result in devaluing the property both in beauty and worth. We understand the reason for a large building setback in an A5 zone like ours. Large barns and stables would be an overwhelming sight if placed close to a neighbor's property. Our proposed garage is very small in comparison.

2) Part of what makes our property so dear to us is its unique topography. Aside from the marsh on the West side, and the abundance of beautiful mature trees and plants, there is a stream (Silver Stream, for which the plantation is named) that runs through the property East to West. It runs along the side of our house and comes very close to the house in some areas. This stream is the reason the house and driveway are so close to the Southern boundary of the property. To build the garage on the Northern side of the driveway would not only create an undesirable view from the house, it would necessitate clearing a large area of mature healthy trees that contribute to making this property so gorgeous. The proposed site requires no removal of mature trees. While there is an encroachment into the building set back area, it is small given the scope and size of all properties in this plantation. We feel that the intended result aligns with the spirit of the ordinance as it will enhance the use and value of the property without causing harm, devaluing or limiting the useful purpose of the adjoining properties.

3) We have done nothing to self-create a hardship in regards to requesting this variance. We are blessed to live on a piece of property that has a beautiful, natural setting adorned with hundreds of mature trees and plants. In order to preserve the natural beauty and achieve a site design that is compatible with this setting we are requesting this variance. In our humble opinion, the only logical place to construct the garage in order to maintain and enhance the property is where we propose.

4) It is our humble opinion that granting this variance will assist in maintaining the natural beauty that exists here in Bryan County. The building design and site location are complementary to our property and the adjoining properties while helping protect our property's beauty and value without negatively impacting the neighboring properties.

“B” Exhibits – Agency Comments

Exhibit B-1



BRYAN COUNTY COMMUNITY DEVELOPMENT DEPARTMENT

51 North Courthouse Street
P.O. Box 1071
Pembroke, Georgia 31321
912-653-3893
(Fax) 653-3864

66 Capt. Matthew Freeman Drive
Suite 201
Richmond Hill, Georgia 31324
912-756-7953
(Fax) 756-7951

Article XIII, Section 302 of the Bryan County Zoning Ordinance requires that we secure comments from the Engineering Director, Fire Chief, County Health Director, and Public Works Director on the following zoning application:

CASE # V#353-20 PZ Date: Sept. 1, 2020 Comments by: Friday, Aug. 7, 2020

Zoning Request: Variance to Section 1000(f)(1) for accessory structure location.

Filed by: Paul Rieffle and Kimberly Wandel

Owners: same

Property address: 331 Silverstream Lane

Map and Parcel # 064-020

Comments Sign and Date

Engineering Director: _____

Fire Chief: No issue [Signature] 7/13/20

County Health Director: _____

Public Works Director: _____

Bryan County Schools (optional): _____



**BRYAN COUNTY
COMMUNITY DEVELOPMENT DEPARTMENT**

51 North Courthouse Street
P.O. Box 1071
Pembroke, Georgia 31321
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CASE # _____ **PZ Date:** _____ **Comments by:** _____

Zoning Request: _____

Filed by: _____

Owners: _____

Property address: _____

Map and Parcel # _____

Comments Sign and Date

Engineering Director: _____

Fire Chief: _____

County Health Director: _____

Public Works Director: _____

Bryan County Schools (optional): _____

Exhibit B-3



BRYAN COUNTY COMMUNITY DEVELOPMENT DEPARTMENT

51 North Courthouse Street
P.O. Box 1071
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Filed by: Paul Rieffle and Kimberly Wandel

Owners: same

Property address: 331 Silverstream Lane

Map and Parcel # 064-020

Comments Sign and Date

Engineering Director: No comments.

Fire Chief: _____

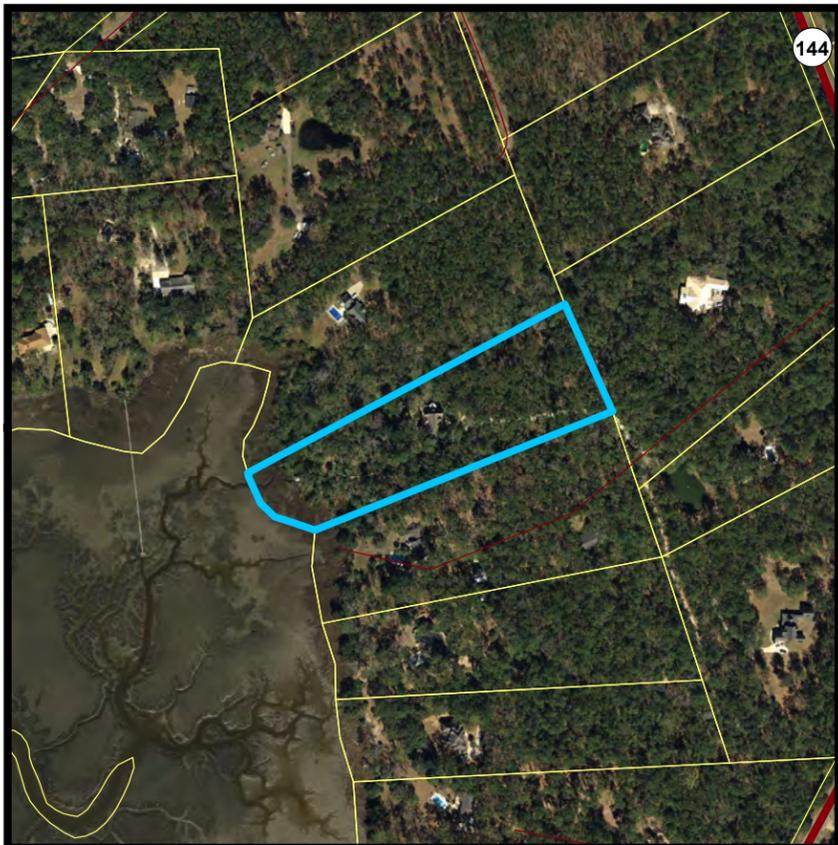
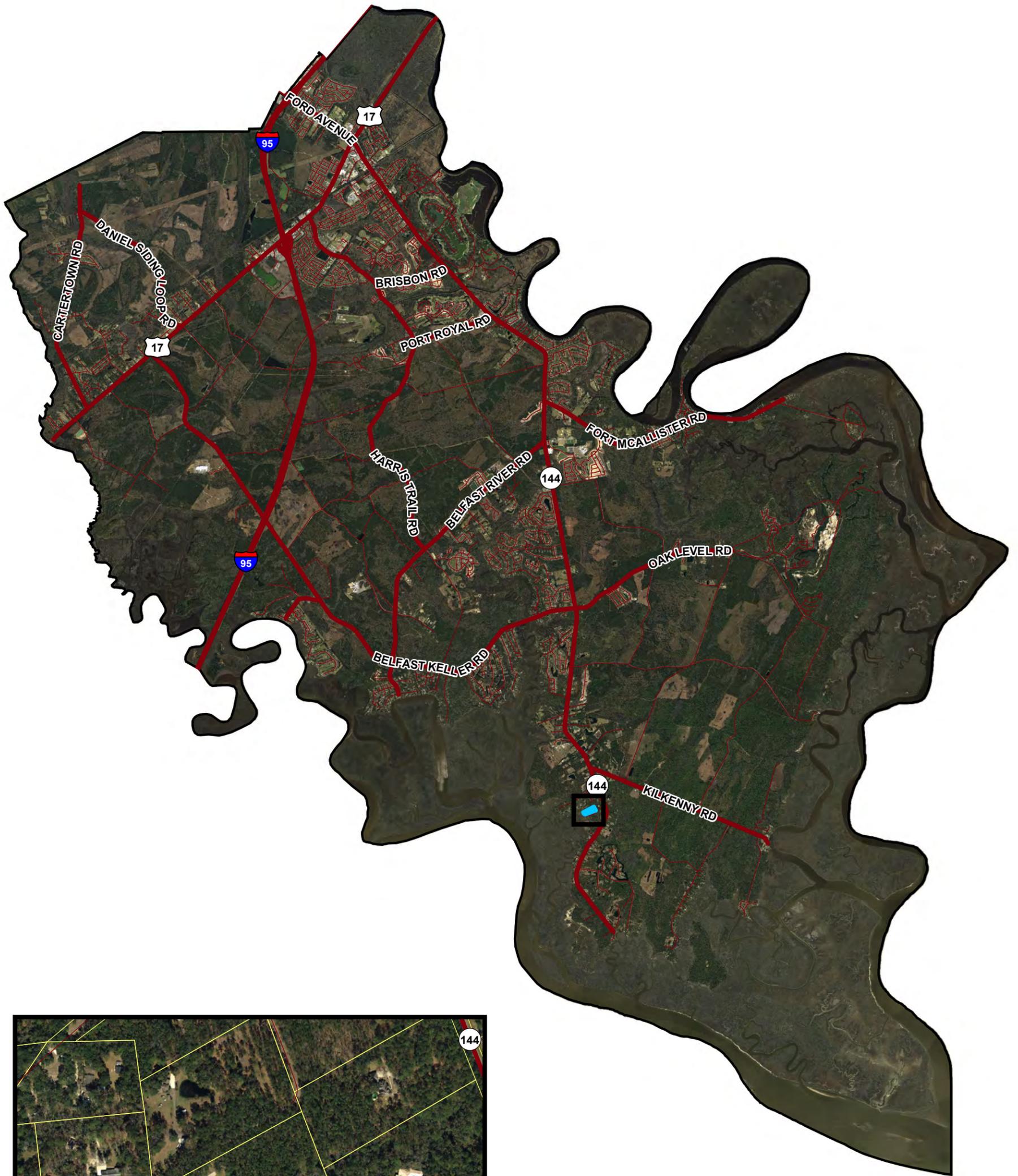
County Health Director: If no water will be used ^(RM) is the garage, no septic is required, please confirm with the Bryan Co. Health Dept. 8.7.20

Public Works Director: _____

Bryan County Schools (optional): _____

“C” Exhibits – Bryan County Supplements

Exhibit C-1



- Interstate, U.S. & State Highways, & Other Major Roads
- Roads
- Subject Parcel 064-020
- Parcels





Subject Parcel 064-020
 Interstate, U.S. & State Highways, & Other Major Roads
 Roads
 Parcels



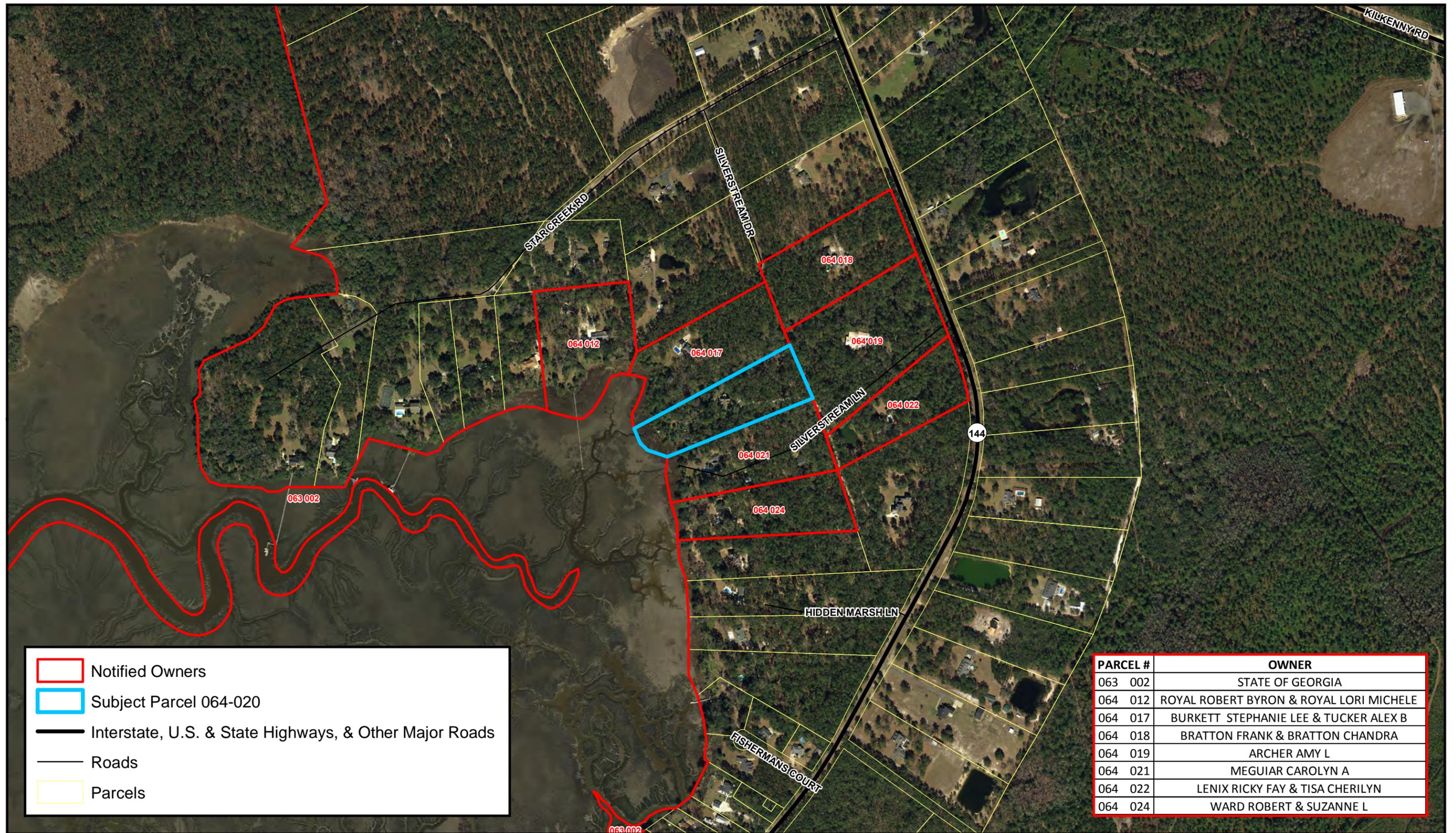
Produced by Bryan County GIS
August 2020



Location Map
Paul Rieffle & Kimberly Wandel
Case V# 353-20

Exhibit C-2

DISCLAIMER
 Information represented in this compilation from numerous digital GIS resources is solely for planning and illustration purposes. It is not suitable for site specific decision making. The accuracy of this product is dependent upon the source data and therefore the accuracy cannot be guaranteed. The areas depicted in this GIS Map Product are approximate, and is not necessarily accurate to surveying or engineering standards. Bryan County, City of Richmond Hill, or City of Pembroke assumes no responsibility or liability for the information contained therein or if information is used for other than its intended purpose. Reproduction, dissemination, altering this data is not authorized without prior consent. Bryan County, City of Richmond Hill, or City of Pembroke assumes no responsibility or liability for modified data.



Notified Owners
 Subject Parcel 064-020
 Interstate, U.S. & State Highways, & Other Major Roads
 Roads
 Parcels

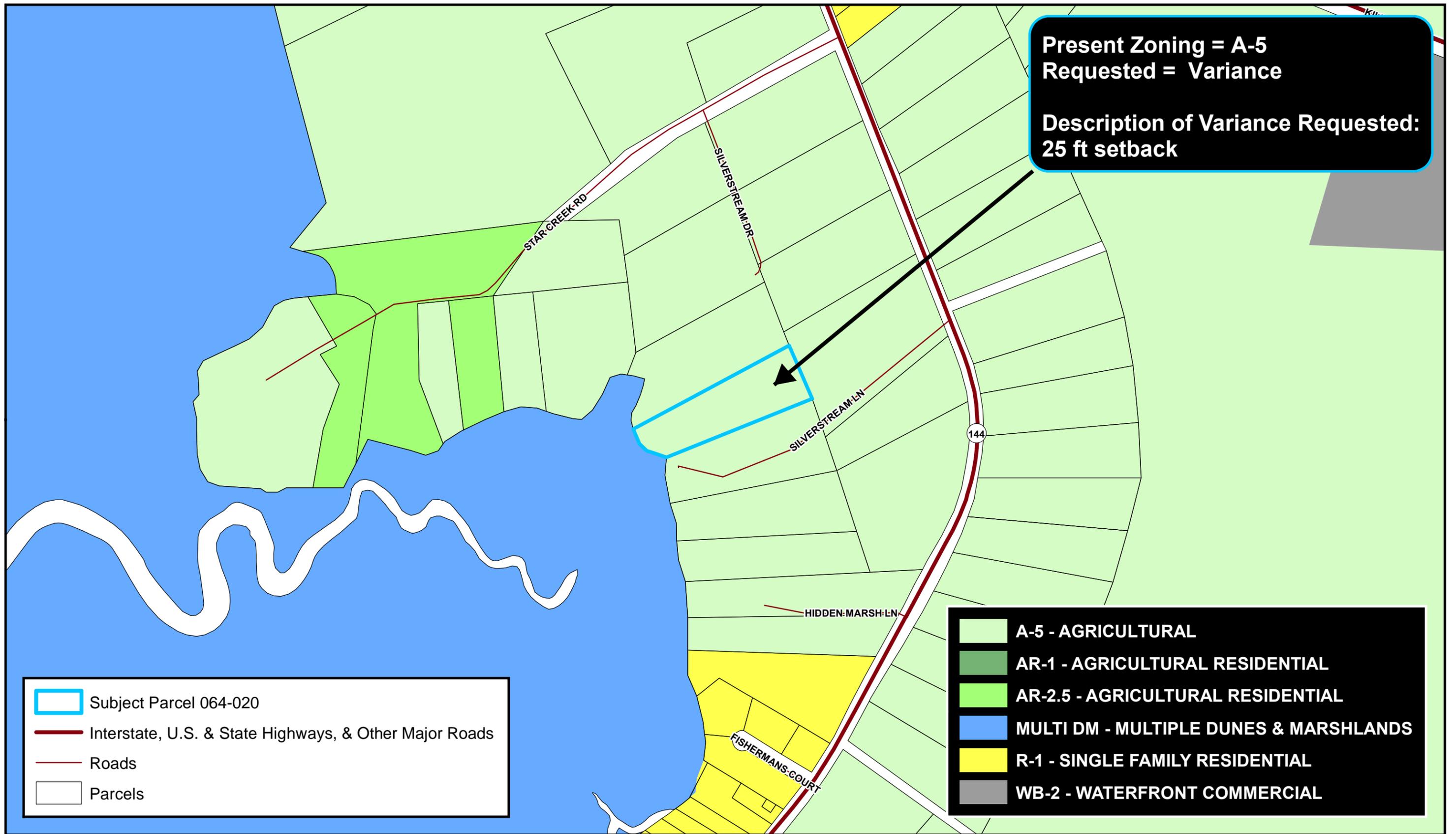
PARCEL #	OWNER
063 002	STATE OF GEORGIA
064 012	ROYAL ROBERT BYRON & ROYAL LORI MICHELE
064 017	BURKETT STEPHANIE LEE & TUCKER ALEX B
064 018	BRATTON FRANK & BRATTON CHANDRA
064 019	ARCHER AMY L
064 021	MEGUIAR CAROLYN A
064 022	LENIX RICKY FAY & TISA CHERILYN
064 024	WARD ROBERT & SUZANNE L



Notification Map
Paul Rieffle & Kimberly Wandel
Case V# 353-20

Exhibit C-3

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“D” Exhibits – Public Comment

No Comments Submitted

BRYAN COUNTY PLANNING & ZONING COMMISSION

CASE Z#230-20

Public Hearing Date: September 1, 2020

<p>REGARDING THE APPLICATION OF: Teresa Salmeron, requesting the rezoning of 1622 Harris Trail Road, PIN# 054-037-01 and 054-037-02, in unincorporated Bryan County, Georgia. The applicant is requesting the property be rezoned “AR-1.5”, from its existing “B-2” General Commercial District.</p>	<p>Staff Report By: Amanda Clement Dated: August 25, 2020</p>
--	---

I. Application Summary

Requested Action: Public hearing and consideration of a rezoning map amendment for Bryan County. The application by Teresa Salmeron proposes to rezone the property located at 1622 Harris Trail Road, PIN# 054-037-01 and 054-037-02 from its existing “B-2” General Commercial District to “AR-1.5” Agricultural Residential District.

Applicant and Owner: **Doug and Teresa Salmeron**
425 Belle Grove Circle
Richmond Hill, GA 31324

Applicable Regulations:

- The State of Georgia, Title 36. Local Government Provisions Applicable to Counties and Municipal Corporations, Chapter 66. Zoning Procedures, Georgia Code O.C.G.A. 36-66
- Appendix B - Zoning, Article VI. – Amendments, Section 610. – Standards Governing the Exercise of Zoning Power (“standards”), Bryan County Code of Ordinances
- Appendix B - Zoning, Article XI. – Uses Permitted in Districts, Section 1102. – “AR-1.5” Agricultural Residential District, Bryan County Code of Ordinances

II. General Information

1. Application: A rezoning application was submitted by Teresa Salmeron on July 27, 2020. After reviewing the application, the Director certified the application as being generally complete on July 31, 2020.

2. Notice: Public notice for this application was as follows:

- A. Legal notice was published in the Bryan County News on **August 13, 2020**.
- B. Notice was sent to Surrounding Land Owners on **August 13, 2020**.
- C. The site was posted for Public Hearing on **August 11, 2020**.

3. Background: The subject property is comprised of two lots under common ownership totaling 2.9 acres. The back half of the property is identified as "Parcel 1-A" consisting of 1.5-acres and the front half as "Parcel 1-B" consisting of 1.4 acres. County records show that the property was rezoned from "AR-1" to "B-2" on July 7, 2007 for the use as a nursery and landscape center (Case Z#108-07). This use, however, was never established and the current property owners who purchased the land in December of 2019 now desire to construct a primary residence on it. The site is located on Harris Trail Road approximately 250 feet south of Brisbon Road and is currently vacant.

4. Exhibits: The following Exhibits are attached hereto as referenced. All application documents were received at the Bryan County Community Development office on July 27, 2020, unless otherwise noted.

"A" Exhibits- Application:

A-1 Rezoning Application

"B" Exhibits- Agency Comments:

- B-1 Engineering Director Comments (Received 08.03.2020)
- B-2 Fire Chief Comments (Received 08.03.2020)
- B-3 County Health Director Comments (Received 08.07.2020)

"C" Exhibits- Bryan County Supplements

- C-1 Overview Map
- C-2 Location Map
- C-3 Notification Map
- C-4 Zoning Map

"D" Exhibits- Public Comment:

None Received

III. Analysis Under Article VI. - Amendments, Section 610. - Standards Governing the Exercise of Zoning Power:

In considering any Zoning Map Reclassifications, the following Standards shall be considered, as they may be relevant to the application, by the Planning Director, Planning Commission and County Commission. Such considerations shall be based on the most intensive Uses and maximum density permitted in the requested Reclassification, unless limitations to be attached to the zoning action are requested by the applicant:

1. Whether the proposed reclassification is in conformance with the Comprehensive Plan.

Staff Findings: The subject property is classified as Mixed Use in the Comprehensive Plan and on the Future Land Use Map. This land use is concentrated in quickly growing areas of the County and the recommended zoning districts for the area generally include commercial, industrial, and residential districts.

2. Whether the proposed reclassification improves the overall zoning scheme and helps carry out the purposes of this Ordinance.

Staff Findings: The intent of the "AR-1.5" Agricultural Residential Zoning District is to provide locations for large lot single family residences with limited non-commercial agricultural activity. The existing zoning scheme within the area includes a mix of residentially zoned properties of low to moderate density with a few commercially zoned lots on Harris Trail Road. Rezoning the property to the "AR-1.5" for a residential use will remain consistent with the overall zoning scheme.

3. Whether the proposed reclassification is compatible with or would negatively impact the overall character and land use pattern or a particular piece of property or neighborhood within one (1) mile of the subject Lot.

Staff Findings: Within one (1) mile of the site are the City of Richmond Hill city boundaries with residential developments of low to moderate density to include: the Sterling Creek Plantation residential subdivision, zoned by the City of Richmond Hill as "R2" Low Density Single Family District; the Cypress Pointe, Creek Valley, and Harris Trail Towns townhome developments and The Plantation apartments, zoned by the City of Richmond Hill as "R3" Moderate Density Residential District; and the Brisbon Hall, Creekside, Turtle Hill, Richmond Hill Plantation, and The Links at Ways Station subdivisions, zoned by the City of Richmond Hill as "PUD" Planned Unit Development. Residential development within the unincorporated areas of the County and within one (1) mile of the site include several large lots developed with single-family dwellings and the Frugality Hall subdivision, all zoned "AR-1" Agricultural Residential District; and the Holly Hill

mobile home park, zoned “R-4” Manufactured Housing Park District. Commercially zoned properties within the area include approximately 17 acres of undeveloped lands located on Harris Trail Road south of Sterling Creek as well as a 2.87-acre undeveloped parcel across from the subject site, both of which are zoned “B-2” General Commercial district. Other uses within one (1) mile of the site include public facilities such as Richmond Hill High School, Richmond Hill Fire Department Station 2, Timber Trail park, and a Georgia Transmission substation. Overall, given the mix of uses and range in residential density, the reclassification should not negatively affect the overall character or land use pattern within the area.

4. The adequacy of public facilities and services intended to serve the Lot proposed to be reclassified, including but not limited to: roads, parks and recreational facilities, police and fire protection, schools, stormwater drainage systems, water supplies, wastewater treatment, and solid waste services.

Staff Findings: Each of the public services intended to serve the subject property is discussed below:

- a) Roads: The main road providing access to this site is Harris Trail which is a major corridor running parallel with State Route 44, connecting the south end of Unincorporated Bryan County to U.S. 17 in the City of Richmond Hill. Harris Trail is a 4-lane facility with sidewalks between U.S. 17 and Timber Trail Road, but narrows to two-lanes without sidewalks south of Timber Trail Road.
- b) Parks and Recreational Facilities: Duvall Henderson Park and Timber Trail Park provide public recreation facilities for South Bryan County.
- c) Police and Fire Protection: The Bryan County Sheriff’s Office and Bryan County Emergency Services provide police and fire protection for the subject property.
- d) Schools: Richmond Hill Primary, Richmond Hill Elementary, Carver Elementary, Richmond Hill Middle, and Richmond Hill High schools serve this area of South Bryan County.
- e) Stormwater Drainage System: There are approximately 0.35 acres of wetlands on the rear of the site and the property backs up to Sterling Creek.
- f) Water Supplies and Wastewater Treatment: The City of Richmond Hill provides water and sewer service in the area. However, if connection to their system is not feasible or required, then these services may be provided through a private well and on-site septic system.
- g) Waste Disposal: Waste disposed of in the unincorporated areas of Bryan County is collected by Republic Waste and taken to Broadhurst Environmental Landfill in Wayne County. Based on information made available by the Georgia Department of Natural Resources, Environmental

Protection Division, Land Protection Branch, this landfill has approximately 86 years of capacity remaining.

5. Whether the proposed reclassification will adversely affect a known archaeological, historical, cultural or environmental resource, such as water or air quality, ground water recharge areas, drainage, soil erosion and sedimentation and flooding.

Staff Findings: A survey provided by the applicant reveals that there are 0.354 acres of wetlands on the rear of the site; and the FEMA F.I.R.M. maps identify a portion of this property as being located inside a Special Flood Hazard Area, Zone AE (Elevation 10 Feet). In addition to this, the site backs up to Sterling Creek. Any future development of the site would need to be planned in order to not adversely affect these environmentally sensitive areas; however, given the fact that the majority of the site is comprised of uplands which are located outside of the Special Flood Hazard Area, this should not be difficult to achieve.

6. Whether the proposed reclassification will adversely affect the existing uses or usability of adjacent or nearby Lots or the preservation of the integrity of any adjacent neighborhoods.

Staff Findings: The proposed use as a single-family residence should not adversely affect the existing uses or usability of adjacent or nearby lots or the preservation of the integrity of the nearby and adjacent residential properties as the "AR-1.5" zoning allows for similar uses to what is currently permitted within the area.

7. Whether the proposed reclassification could adversely affect market values of nearby Lots.

Staff Findings: No evidence or research has been presented either in support of or in opposition to this request, which would suggest that the proposed use will have an adverse effect on the market values of nearby lots.

8. Whether the proposed reclassification would require an increase in existing levels of public services, including, but not limited to: Schools, parks and recreational facilities, stormwater drainage systems, water supplies, wastewater treatment, solid waste services, roads or police and fire protection beyond the existing ability of the County or Board of Education to provide.

Staff Findings: The proposed reclassification represents a request for a downzoning to a less intensive use than what would be permitted under the existing "B-2" General Commercial district; therefore, it is not expected to require an increase in existing levels of public services.

9. Whether there are other existing or changing conditions affecting the use and development of the Lot proposed to be reclassified which give supporting grounds for either approval or disapproval of the proposed reclassification.

Staff Findings: This area along Harris Trail Road is located within close proximity to the City of Richmond Hill city boundaries, and is designated for “Mixed Use” development under the County’s Comprehensive Plan and Future Land Use Map. The existing conditions within the area already represent a mix of residential uses ranging from low to moderate density, with good access and connectivity to public facilities such as schools and parks. Further development is expected to continue within the area making the site appropriate for either the existing commercial zoning district or proposed residential use.

10. The existing Uses and zoning of nearby Lots.

Staff Findings: Adjacent properties are zoned “AR-1” Agricultural Residential District and allow similar uses to those permitted under the requested “AR-1.5” Agricultural Residential District.

11. The extent to which the value of the Lot proposed to be reclassified is diminished by its existing zoning restrictions.

Staff Findings: The applicant did not provide any information regarding a diminishment in the value of the lot as a result of its existing zoning restrictions.

12. The extent that any diminished property value of the Lot proposed to be reclassified resulting from its existing zoning restrictions promotes the health, safety, morals or general welfare of the public.

Staff Findings: Staff has not identified a diminishment in the property value of the subject property from its existing zoning restrictions.

13. The relative gain to the public, as compared to the hardship imposed upon Petitioner, by the existing zoning restrictions.

Staff Findings: Staff has not identified a relative gain to the public.

14. The suitability of the Lot proposed to be reclassified for its current and proposed zoned purposes.

Staff Findings: The lot that is proposed to be reclassified is 2.9 acres in size and has approximately 175 feet of lot frontage along Harris Trail Road, meeting the minimum requirements for both the current (“B-2”) and proposed (“AR 1.5”) zoned purposes.

15. The length of time the Lot proposed to be reclassified has been non-income producing as zoned.

Staff Findings: The property was rezoned from “AR-1” to “B-2” in 2007 for use as a nursery and landscape center; however, the business for which it was zoned appears to have never been established. Prior to that, the record shows that the site was used for residential purposes.

16. Whether the proposed reclassification would create an isolated District unrelated to adjacent and nearby Districts.

Staff Findings: The proposed reclassification would not create an isolated district unrelated to adjacent or nearby districts as the adjacent parcels are zoned “AR-1”.

17. Whether there are substantial reasons why the Lot cannot be used in accordance with this existing zoning classification.

Staff Findings: The applicant did not offer substantial reasons as to why the subject property cannot be used in accordance with the existing zoning classification; but have indicated that they purchased the property with the intent of constructing a primary residence and were not aware that it was previously zoned for commercial uses.

18. Applications for a Zoning Map Reclassification which do not contain specific site plans carry a rebuttable presumption that such rezoning shall adversely affect the zoning scheme.

Staff Findings: At this time, the plan identified by the applicant is to construct one (1) single-family residence to be used as their primary residence.

IV. Staff Recommendation

Staff recommends approval for the rezoning to “AR 1.5” Agricultural Residential district.

V. Planning & Zoning Commission Recommendation

Recommendation: The Commission may recommend that the rezoning be granted as requested, or it may recommend approval of the rezoning requested subject to provisions, or it may recommend that the rezoning be denied.

The Commission may continue the hearing for additional information from the applicant, additional public input or for deliberation.

► **Motion Regarding Recommendation:** Having considered the evidence in the record, upon motion by Commissioner _____, second by Commissioner _____, and by vote of __ to __, the

Commission hereby recommends approval as proposed/approval with provisions/denial of the proposed rezoning.

“A” Exhibits – Application

Bryan County Board of Commissioners

"Exhibit A-1"



Community Development Department

REZONING APPLICATION

Refer to Article VI of the Zoning Regulations for additional information regarding text and zoning map amendments.

FEE

Application Fee: \$165.00

APPLICANT/OWNER INFORMATION

Applicant:

- Property Owner
- Authorized Agent

Applicant Name: Teresa Salmeron
 Address: 425 Belle Grove Circle
 City: Richmond Hill State: GA Zip: 31324
 Phone: (912) 256-3414 Email: Teresa.Salmeron@yahop.com

Property Owner (if not applicant):

Address: 1022 Harris Trail Rd
 City: Richmond Hill State: GA Zip: 31324 Phone: (912) 256-3414

PROPERTY INFORMATION

Property Address or General Location: 1022 Harris Trail Rd Richmond Hill, GA 31324
 PIN Number(s) (Map & Parcel): 054-037-01/054-037-02 Total Acreage: 2.9
 Current Zoning District(s): B-2 Proposed Zoning District(s): AR-1.5

Existing Use of Property: none
 Proposed Use of Property: single Residential Home

RECEIVED
 FOR OFFICE USE ONLY
 JUL 27 2020

Case #: Z#230-20 Date Received:

Fee Paid

Initial: [Signature]

REZONING REVIEW AND TIMING

The typical process and timeframe for reviewing map amendments is as follows. The initial 30-day review period will not begin until the submitted application is certified as being complete.

Completeness Review	5 business days after Application Submittal
Development Review Committee	Within 30 days of following Completeness Certification
Planning & Zoning (P&Z) Commission Public Hearing	30-60 days following Development Review Committee
Board of Commissioners (BOC) Public Hearing	Within 31 days following public hearing

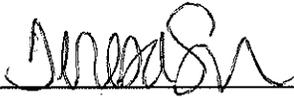
MAP AMENDMENT APPLICATION CHECKLIST

The following information must be included with your submittal. Any omission of the items below will result in a delay of your request. Place a check next to each item included with your submission.

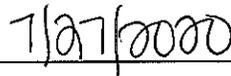
- Completed Application
- Completed Authorization by Property Owner form, if applicant is not the property owner
- Proof of Ownership
- Verification of Paid Taxes
- Disclosure Statement
- ^{N/A} Written impact analysis prepared with respect to each of the standards enumerated on Page 3 of this application form. This analysis is required for all reclassifications to PUD, I-1, WP, I-L, B-2, R-3, R-4 and WB-3; and all other reclassifications of lots at least 20 acres in size in the AR 1.5, R-30, R-1, R-2, B-1, O and WB-2.
- One (1) 8 ½ x 11 inch, and One (1) full size copy of the proposed concept plan
- ^{N/A} Traffic Impact Analysis – Required for proposed uses generating more than 1,000 average daily trips or will concentrate 300 or more average daily trips per day through a single access point
- ^{N/A} Traffic Design Analysis – Required for proposed uses that do not meet the threshold for a Traffic Impact Analysis but will generate 200 or more average daily trips

APPLICANT CERTIFICATION AND ACKNOWLEDGMENT

I hereby certify that I am the owner or authorized agent of the property being proposed for rezoning, and I have answered all of the questions contained herein and know the same to be true and correct. I hereby acknowledge that I have reviewed the application checklist, and further acknowledge that any omission of the items above will cause a delay in the review of my request.



Applicant Signature



Date

REZONING STANDARDS

The standards below shall be considered for any rezoning request. The required impact analysis should be prepared on a separate sheet(s) of paper.

1. Whether the proposed reclassification is in conformance with the comprehensive plan.
2. Whether the proposed reclassification improves the overall zoning scheme and helps carry out the purposes of this ordinance.
3. Whether the proposed reclassification is compatible with or would negatively impact the overall character and land use pattern or a particular piece of property or neighborhood within one mile of the subject lot.
4. The adequacy of public facilities and services intended to serve the lot proposed to be reclassified, including, but not limited to, roads, parks, and recreational facilities, police and fire protections, schools, stormwater drainage systems, water supplies, wastewater treatment, and solid waste services.
5. Whether the proposed reclassification will adversely affect a known archaeological, historical, cultural or environmental resource, such as water or air quality, ground water recharge areas, drainage, soil erosion and sedimentation and flooding.
6. Whether the proposed reclassification will adversely affect the existing uses or usability of adjacent or nearby lots or the preservation of the integrity of a [any] adjacent neighborhoods.
7. Whether the proposed reclassification could adversely affect market values of nearby lots.
8. Whether the proposed reclassification would require an increase in existing levels of public services, including, but not limited to, schools, parks and recreational facilities, stormwater drainage systems, water supplies, wastewater treatment, solid waste services, roads or police and fire protection beyond the existing ability of the county or board of education to provide.

9. Whether there are other existing or changing conditions affecting the use and development of the lot proposed to be reclassified which give supporting grounds for either approval or disapproval of the proposed reclassification.
10. The existing uses and zoning of nearby lots.
11. The extent to which the value of the lot proposed to be reclassified is diminished by its existing zoning restrictions.
12. The extent that any diminished property value of the lot proposed to be reclassified resulting from its existing zoning restrictions promotes the health, safety, morals or general welfare of the public.
13. The relative gain to the public, as compared to the hardship imposed upon petitioner, by the existing zoning restrictions.
14. The suitability of the lot proposed to be reclassified for its current and proposed zoned purposes.
15. The length of time the lot proposed to be reclassified has been non-income producing as zoned.
16. Whether the proposed reclassification would create an isolated district unrelated to adjacent and nearby districts.
17. Whether there are substantial reasons why the lot cannot be used in accordance with this existing zoning classification.
18. Applications for a zoning map reclassification which do not contain specific site plans carry a rebuttable presumption that such rezoning shall adversely affect the zoning scheme.

If you have questions, contact the Community Development Department at one of our office locations.

51 North Courthouse Street
 Pembroke, GA 31321
 Phone: 912-653-3893
 Fax: 912-653-3864

66 Capt. Matthew Freeman Drive
 Richmond Hill, GA 31324
 Phone: 912-756-3177
 Fax: 912-756-7951

FOR OFFICE USE ONLY

Completeness Crtd: 7-31-20 *ABF* DRC Meeting Date: 8-6-2020 P&Z Hearing Date: 9/1/20
 BOC Hearing Date: 9-8-20

Bryan County Board of Commissioners

Community Development Department



AUTHORIZATION OF PROPERTY OWNER

I, Teresa Salmieron, being duly sworn upon his/her oath, being of sound mind and legal age deposes and states; That he/she is the owner of the property which is subject matter of the attached application, as is shown in the records of Bryan County, Georgia

I authorize the person named below to act as applicant in the pursuit of a Rezoning application. Further, I authorize the staff of the Bryan County Community Development Department to inspect the premises which are the subject of this application. I acknowledge and accept that I will be bound by the decision of the board of commissioners, including any conditions of the rezoning, if the application is approved.

Name of Applicant: Teresa Salmieron

Address: 425 Belle Grove Circle

City: Richmond Hill State: GA Zip Code: 31324

Telephone Number: (912) 250-3414 Email: Teresa.Salmieron@yahoo.com

Teresa Salmieron
Signature of Owner

7/27/2020
Date

Teresa & Douglas Salmieron
Owners Name (Print)

Personally appeared before me

Owner (Print)

Who swears before that the information contained in this authorization is true and correct to the best of his/her knowledge and belief.

This Day 27 of July 2020

(Notary Seal)

Ramona Martin
Notary Public,

My commission expires October 11, 2022

Bryan County Board of Commissioners

Community Development Department



VERIFICATION OF PAID TAXES

TS The undersigned verifies that all Bryan County property taxes, billed to date to the parcel listed below, have been paid in full to the Tax Commissioner of Bryan County, Georgia.

TS The undersigned verifies that all Bryan County fire and garbage taxes for the parcel listed below have been paid in full to the Tax Commissioner of Bryan County, Georgia.

054-037-01 / ~~054-037-02~~
Parcel Identification Number

Jenkinson
Signature of Applicant

07/27/2020
Date

BRYAN COUNTY TAX COMMISSIONER'S USE ONLY

Payment of all taxes billed to date for the above referenced parcel have been verified as paid current and confirmed by the signature below.

Name: Tracy Dren

Title: Deputy Clerk

Signature: [Signature]

Date: 7-27-2020

IF APPLYING FOR A MOBILE HOME PERMIT, PLEASE COMPLETE THE FOLLOWING:

Manufactured Home: _____ Make _____
_____ Model _____
_____ Year _____
_____ Serial # _____

_____ The undersigned verifies that a current Bryan County Decal has been issued for the mobile home referenced above.

Signature: _____ Date: _____

Bryan County Board of Commissioners

Department of Planning & Zoning



VERIFICATION OF PAID TAXES

TS The undersigned verifies that all Bryan County property taxes, billed to date to the parcel listed below, have been paid in full to the Tax Commissioner of Bryan County, Georgia.

TS The undersigned verifies that all Bryan County fire and garbage taxes for the parcel listed below have been paid in full to the Tax Commissioner of Bryan County, Georgia.

054-037-02
Parcel Identification Number

[Signature]
Signature of Applicant

07/27/2020
Date

BRYAN COUNTY TAX COMMISSIONER'S USE ONLY

Payment of all taxes billed to date for the above referenced parcel have been verified as paid current and confirmed by the signature below.

Name: Tiffany M. Dowd

Title: Tax Clerk

Signature: [Signature]

Date: 7/27/2020

IF APPLYING FOR A MOBILE HOME PERMIT, PLEASE COMPLETE THE FOLLOWING:

Manufactured Home: _____ Make
_____ Model
_____ Year
_____ Serial #

_____ The undersigned verifies that a current Bryan County Decal has been issued of the mobile home referenced above.

Signature: _____

Date: _____

Bryan County Board of Commissioners



Community Development Department

DISCLOSURE STATEMENT

Title 36, chapter 67A-3 of O.C.G.A. requires that when any applicant for rezoning action has made, within two years immediately preceding the filing of the applicant's application for the rezoning action, campaign contributions aggregating \$250.00 or more to a local government official who will consider the application, to file a disclosure report.

No, I have not made any campaign contributions to County Officials voting on this application exceeding \$250 in the past two years.

Yes, I have made campaign contributions to County Officials voting on this application exceeding \$250 in the past two years.

To Whom: _____

Value of Contribution: _____

Date of Contribution: _____

I have read and understand the above and hereby agree to all that is required by me as the applicant.

Teresa Salmeron
Signature of Applicant

Personally appeared before me

Teresa Salmeron
Applicant (Print)

Who on oath deposes and says that the above is true to the best of his or her knowledge and belief.

This 27 day of July 2020

(Notary Seal)

Ramona Martin
Notary Public *My Commission expires*
October 11, 2022

JAMES R. GARDNER, LLC

ATTORNEYS AT LAW

James R. Gardner
*Admitted in GA & SC

Post Office Drawer 879
5 Executive Court
10385 Ford Avenue, Ste. A
Richmond Hill, Georgia 31324

Telephone (912) 756-3688
Telecopier (912) 756-3640
Email: firm@gardnerlaw.us

January 23, 2020

VIA US MAIL

Teresa T. Salmeron
Douglas R. Salmeron
205 Dove Drake Drive
Richmond Hill, GA 31324

RE: Purchaser(s)/Owner(s): Teresa T. and Douglas R. Salmeron
Property: 1622 Harris Trail
Lender: Interstate Credit Union
Loan No:

Dear Mr. and Mrs. Salmeron

Enclosed please find your original recorded Warranty Deed and a copy of the Owner's Insurance Policy for the above referenced property. Please place this document in a safe place with your other original closing documents. If you have purchased this property as your primary residence, please be sure to file for your homestead exemption at the County Courthouse. Contact your local tax office to obtain the deadline for filing for this exemption.

If you have any questions or we can be of any further assistance, please do not hesitate to contact our office. Thank you.

Sincerely,



Lisa Burnette
Closing Paralegal

Enclosure

3

DOCM 000128
FILED IN OFFICE
1/8/2020 02:22 PM
BK:1390 PG:733-735
REBECCA G. CROWE
CLERK OF SUPERIOR
COURT
Bryan County
Rebecca G. Crowe

REAL ESTATE TRANSFER
TAX PAID: \$100.00

PT-61 015-2019-002545

After recording, return to:
James R. Gardner, LLC
Post Office Box 879 *DOUG*
Richmond Hill, GA 31324
2019 240

(REMOVE THIS LINE FOR RECORDING PURPOSES)

STATE OF GEORGIA }
COUNTY OF BRYAN }

LIMITED WARRANTY DEED

THIS INDENTURE, made this 19th day of December, 2019, between **HARRIS OAK INVESTMENTS, LLC**, as party of the first part (hereinafter individually or collectively called "Grantor") and **TERESA T. SALMERON and DOUGLAS R. SALMERON**, as party of the second part (hereinafter called "Grantee"), (the words "Grantor" and "Grantee" to include his/her/their respective heirs, executors, successors and/or assigns where the context requires or permits).

WITNESSETH:

That the said Grantor, for and in consideration of the sum of TEN (\$10.00) AND NO/100's DOLLARS in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold and conveyed and by these presents does grant bargain, sell and convey unto the said Grantee, as joint tenants with rights of survivorship, the survivor thereof and the survivor's heirs, executors, successors and/or assigns, all that tract or parcel of land lying in BRYAN County, Georgia as described on Exhibit "A" attached hereto and made a part hereof.

TO HAVE AND TO HOLD the said bargained premises, together with all and singular the rights, members and appurtenances thereof, to the same being, belonging or in anywise appertaining, to the only proper use, benefit and behoof of, the said Grantee, as joint tenants with rights of survivorship, the survivor thereof and the survivor's heirs, executors, successors and/or assigns, IN FEE SIMPLE.

AND THE SAID GRANTOR will warrant and forever defend the right and title to the above described property unto the said Grantee, against the lawful claim of all persons claiming by, through or under Grantor.

IN WITNESS WHEREOF, the Grantor has hereunto executed this instrument under seal, the day and year first above written.

Signed, sealed and delivered in the presence of:

HARRIS OAK INVESTMENTS, LLC

Uaerie P. Moore
Unofficial Witness

BY: James Toby Roberts Sr L.S.
JAMES TOBY ROBERTS, SR., MANAGER

Sandra Lynch
Notary Public
My Commission Expires:



BK=1390 PG=735

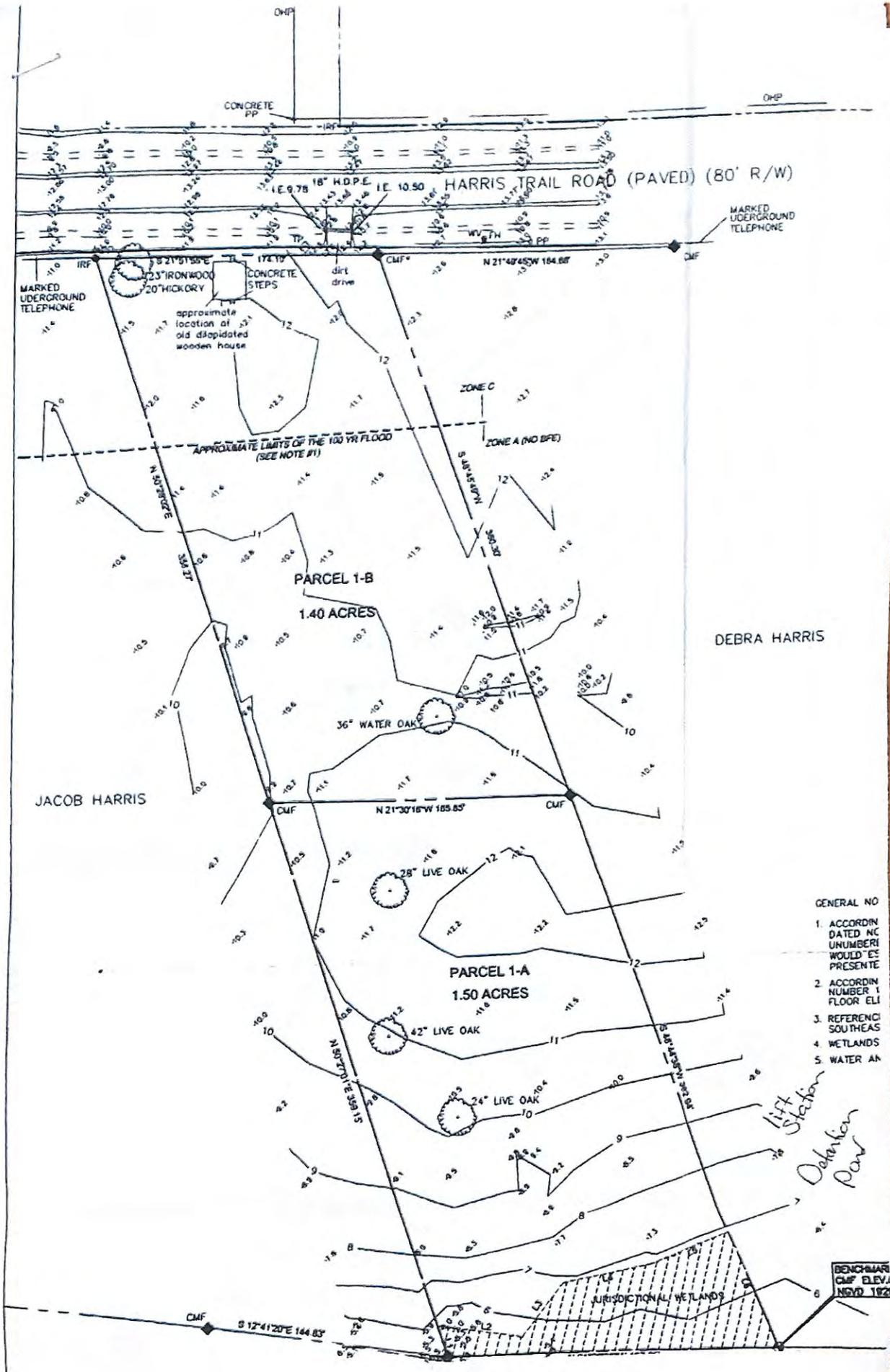
EXHIBIT "A"

LEGAL DESCRIPTION

ALL THAT CERTAIN LOT, TRACT, OR PARCEL OF LAND SITUATE, LYING AND BEING IN THE 20TH G.M. DISTRICT OF BRYAN COUNTY, GEORGIA, AND BEING KNOWN AND DESIGNATED AS PARCEL 1-A, CONTAINING 1.50 ACRES, MORE OR LESS AND PARCEL 1-B, CONTAINING 1.50 ACRES, MORE OR LESS, AS SHOWN AND REPRESENTED ON THAT CERTAIN PLAT OF SURVEY MADE AND PREPARED BY VINCENT HELMLY GRLS #1882, DATED MARCH 21, 1986, AND RECORDED IN PLAT SLIDE 361, PAGE 5-B, BRYAN COUNTY DEED RECORDS. SAID PLAT BEING INCORPORATED HEREIN BY REFERENCE THERETO FOR DESCRIPTIVE AND ALL OTHER PURPOSES.

SUBJECT TO ALL SUBDIVISION RESTRICTIONS, UTILITY EASEMENTS, AND RIGHTS OF WAY PROPERLY RECORDED AND INDEXED IN THE RECORD CHAIN OF TITLE FOR THE ABOVE-REFERENCED PROPERTY.

THIS IS THE SAME PROPERTY CONVEYED TO HARRIS OAK INVESTMENTS, LLC BY PERSONAL REPRESENTATIVE DEED, DATED AUGUST 11, 2006, RECORDED IN DEED BOOK 643, PAGE 536, AND BY WARRANTY DEED DATED AUGUST 17, 2006 AND RECORDED IN DEED BOOK 643, PAGE 526, BRYAN COUNTY, GEORGIA DEED RECORDS.



- GENERAL NO
1. ACCORDING TO THE DATE OF THE SURVEY UNLESS OTHERWISE INDICATED WOULD BE PRESENT
 2. ACCORDING TO THE NUMBER OF FLOORS ELEVATION
 3. REFERENCE TO THE SOUTH EAST
 4. WETLANDS
 5. WATER AND

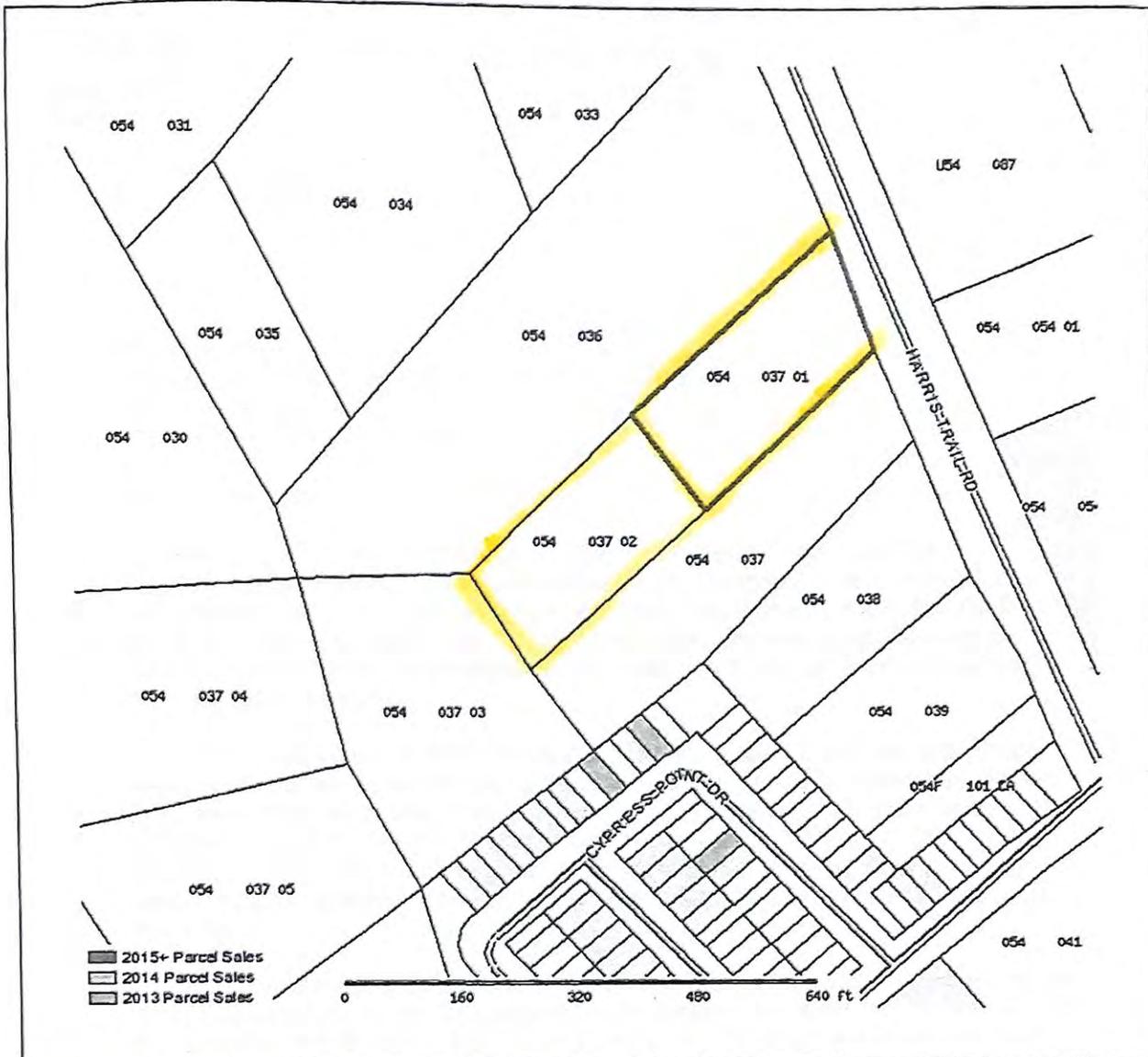
BENCHMARK
 C.M.F. ELEV.
 NOV 1972

DEBRA HARRIS

JACOB HARRIS

Lift Station
 Oakton Row

JURISDICTIONAL WETLANDS

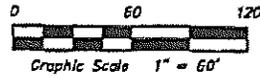


Bryan County Assessor			
Parcel: 054 037 01 Acres: 1.5			
Name	HARRIS OAK INVESTMENTS LLC	Land Value	\$23,200.00
Site	0 HARRIS TRAIL RD	Building Value	\$0.00
Sale	\$56,250 on 08-2006 Reason=LM Qual=Q	Misc Value	\$0.00
Mail	415 WHITEHALL LANE RICHMOND HILL, GA 31324	Total Value	\$23,200.00



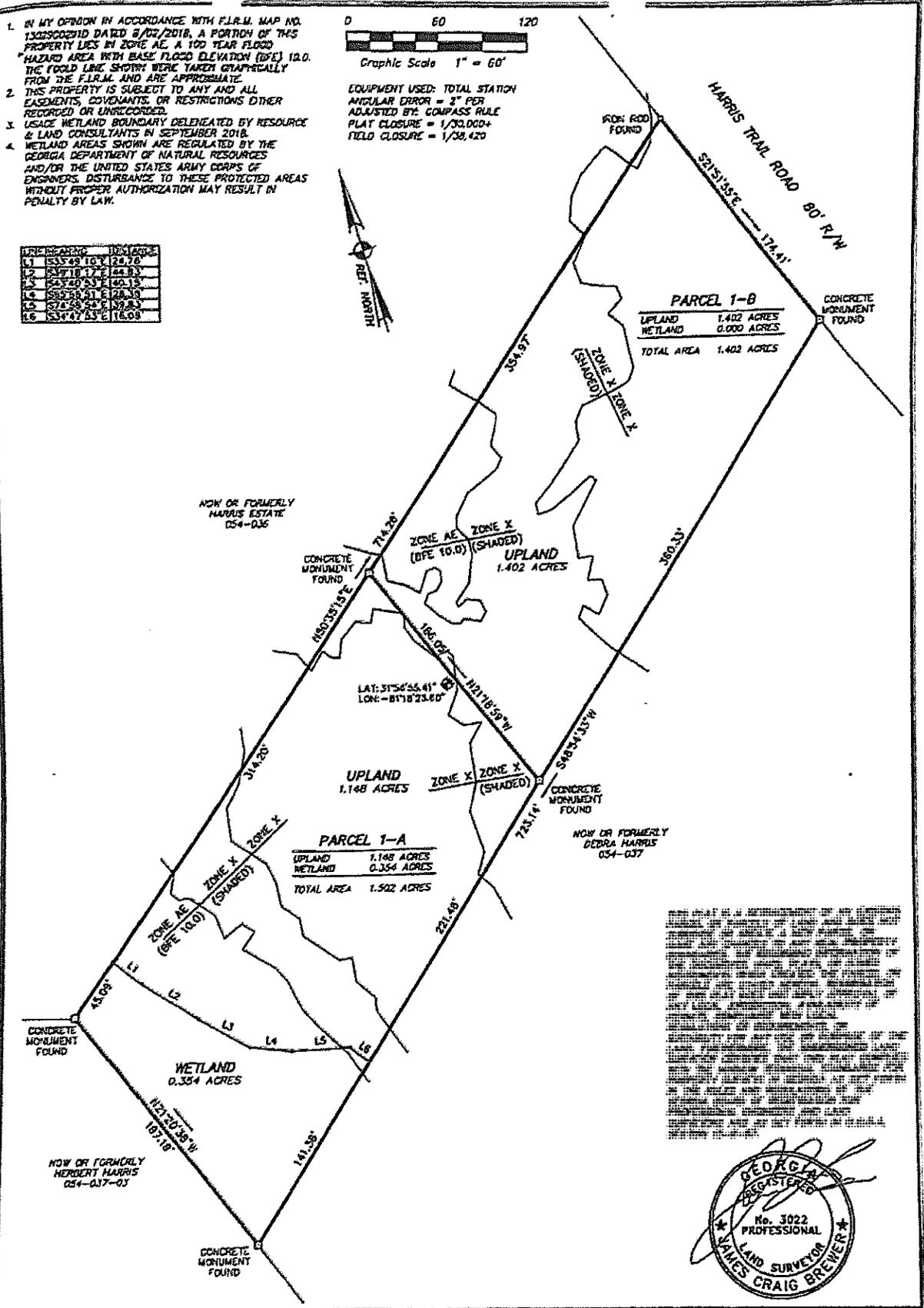
The Bryan County Assessor's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll. PLEASE NOTE THAT THE PROPERTY APPRAISER MAPS ARE FOR ASSESSMENT PURPOSES ONLY NEITHER BRYAN COUNTY NOR ITS EMPLOYEES ASSUME RESPONSIBILITY FOR ERRORS OR OMISSIONS —THIS IS NOT A SURVEY—
Date printed: 01/26/16 : 16:46:32

1. IN MY OFFICE IN ACCORDANCE WITH F.L.R.M. MAP NO. 13025002010 DATED 8/02/2018, A PORTION OF THIS PROPERTY LIES IN ZONE AE, A 100 YEAR FLOOD HAZARD AREA WITH BASE FLOOD ELEVATION (BFE) 10.0. THE FLOOD LINE SHOWN WERE TAKEN GRAPHICALLY FROM THE F.L.R.M. AND ARE APPROXIMATE.
2. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, COVENANTS, OR RESTRICTIONS OTHER RECORDED OR UNRECORDED.
3. USAGE WETLAND BOUNDARY DELEGATED BY RESOURCE & LAND CONSULTANTS IN SEPTEMBER 2018.
4. WETLAND AREAS SHOWN ARE REGULATED BY THE GEORGIA DEPARTMENT OF NATURAL RESOURCES AND/OR THE UNITED STATES ARMY CORPS OF ENGINEERS. DISTURBANCE TO THESE PROTECTED AREAS WITHOUT PROPER AUTHORIZATION MAY RESULT IN PENALTY BY LAW.



EQUIPMENT USED: TOTAL STATION
 ANGULAR ERROR = 2" PER
 ADJUSTED BY COMPASS RULE
 PLAT CLOSURE = 1/30,000+
 FIELD CLOSURE = 1/30,420

LINE NUMBER	BEARING	DISTANCE
L1	S55°49'10"E	20.70
L2	S77°18'17"E	44.83
L3	S57°20'53"E	40.15
L4	S55°28'51"E	28.38
L5	S74°58'52"E	39.83
L6	S54°47'55"E	116.68



THIS SURVEY WAS MADE IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND ETHICS OF THE SURVEYING PROFESSION AS SET FORTH IN THE CONSTITUTION AND STATUTES OF THE STATE OF GEORGIA. THE SURVEYOR HAS REVIEWED THE RECORDS OF THE PUBLIC RECORDS OFFICE AND HAS FOUND NO RECORDS WHICH WOULD AFFECT THIS SURVEY. THE SURVEYOR HAS ALSO REVIEWED THE RECORDS OF THE COUNTY RECORDS OFFICE AND HAS FOUND NO RECORDS WHICH WOULD AFFECT THIS SURVEY. THE SURVEYOR HAS ALSO REVIEWED THE RECORDS OF THE COUNTY RECORDS OFFICE AND HAS FOUND NO RECORDS WHICH WOULD AFFECT THIS SURVEY.



DATE	BY	REVISION
08/02/2018	VCB	ORIGINAL
11/22/2018	VCB	REVISION
11/22/2018	VCB	REVISION

A WETLAND SURVEY OF
LOTS 1-A AND 1-B OF THE ISABELL HARRIS TRACT
 20TH C. M. DISTRICT, BRYAN COUNTY, GA

PREPARED FOR
TOBY ROBERTS

BREWER
 LAND SURVEYING
 P.O. Box 441
 Pooler, GA 31322
 craig@brewersurvey.com
 Phone (912) 856-2205
 www.BrewerSurvey.com
 LSF #1095

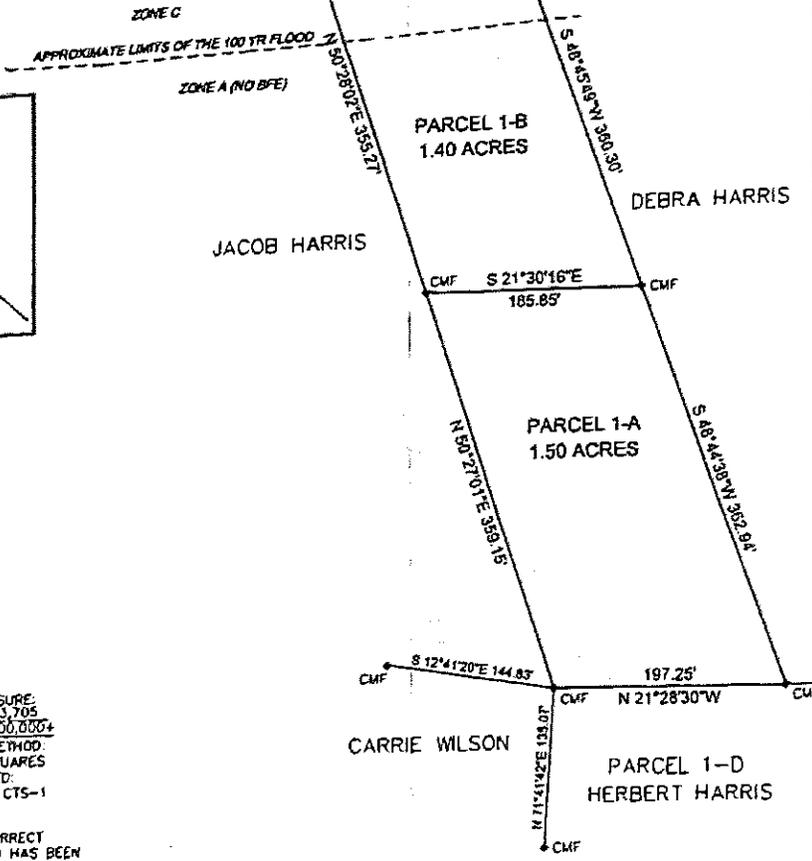
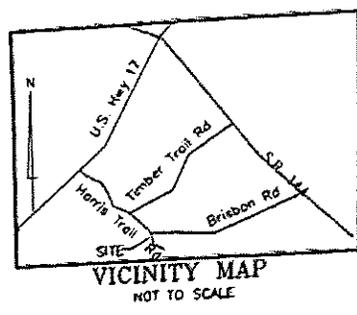
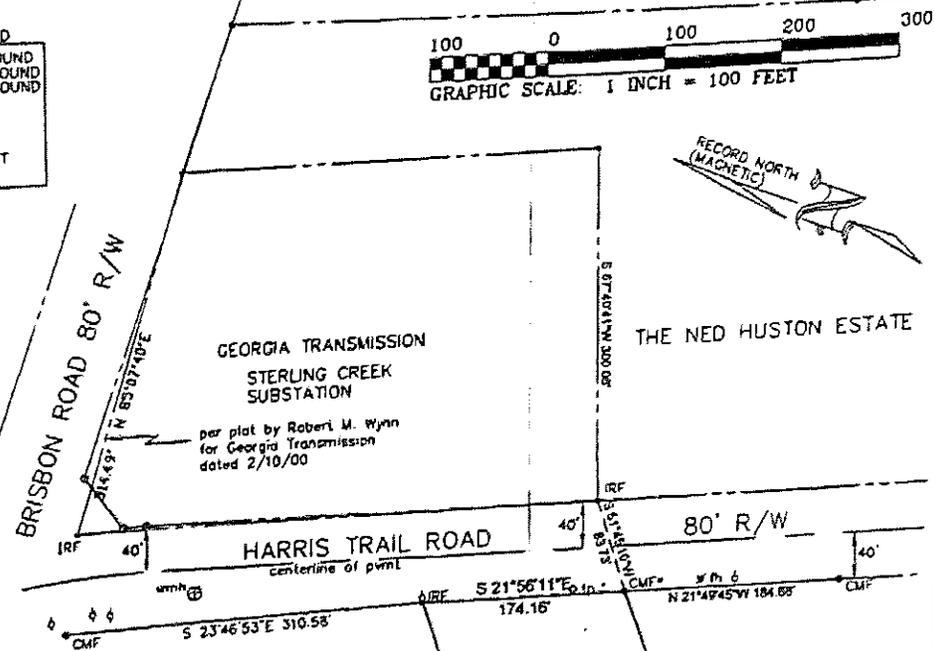
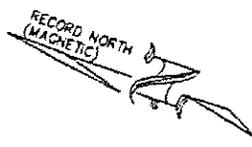
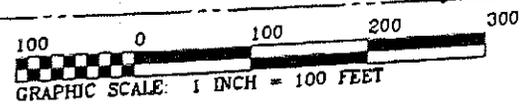
THIS PROPERTY, AS SHOWN, DOES LIE
 IN A DESIGNATED "SPECIAL FLOOD HAZARD AREA",
 (NO BFE), ACCORDING TO F.E.M.A. MAPS FOR
 BRYAN COUNTY DATED 11/16/83 PANEL NO 130016 0270A.
 REFERENCE SUBJECT PROPERTY: PLAT BOOK 361 PG 5
 PLAT OF FRUGALITY HALL TRACT - P.B. "B" PG 48
 BASIS FOR BEARINGS - PLAT OF THE NED HUSTON ESTATE
 BY THIS OFFICE DATED 2/5/01.

**PARCEL 1-A & PARCEL 1-B
 OF THE ISABEL HARRIS TRACT
 20TH G.M.D.
 BRYAN COUNTY, GEORGIA**

SURVEYED FOR: **ANGUS McLEOD**
 APRIL 18, 2005 JOB #06-41A

SOUTHEAST GEORGIA SURVEYING & MAPPING
 P.O. BOX 968 RICHMOND HILL, GA. 31324
 PHONE 912 756-2211 FAX 912 756-5908

- PROPERTY CORNER LEGEND**
- R/W CMF = DOT MARKER FOUND
 - CMF = CONCRETE MARKER FOUND
 - AXLE = CAR/WAGON AXLE FOUND
 - APF = ANGLE IRON FOUND
 - IPF = IRON PIPE FOUND
 - IBF = IRON BAR FOUND
 - IRF = IRON ROD FOUND
 - IRS = 5/8" IRON REBAR SET
 - * = BENT / BROKEN
- FH = FIRE HYDRANT
 WMH = WATER MAIN MOLE
 ⚡ = POWER POLE



Pursuant to O.C.G.A. Section 15-6-67 (d)
 no approval required from the City of
 Richmond Hill Planning Commission in
 order for this plat to be recorded in the
 Bryan County Clerk of Superior Court.



ERROR OF CLOSURE:
 FIELD 1/63,705
 PLAT 1/100,000±
 ADJUSTMENT METHOD:
 LEAST SQUARES
 EQUIPMENT USED:
 TOPCON CTS-1

I CERTIFY THAT IN MY OPINION THIS IS A CORRECT
 REPRESENTATION OF THE LAND PLATTED AND HAS BEEN
 PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS
 AND REQUIREMENTS OF GEORGIA LAW.

RECEIPT		DATE <u>07/27/2020</u>	No. <u>775203</u>
RECEIVED FROM <u>Teresa Salmeron</u>		<u>\$165.00</u>	
<u>CK # 114</u>		DOLLARS	
<input type="radio"/> FOR RENT		<u>Rezoning Application # 230-20</u>	
<input checked="" type="radio"/> FOR			
ACCOUNT		<input type="radio"/> CASH	FROM _____ TO _____ BY <u>[Signature]</u>
PAYMENT		<input checked="" type="radio"/> CHECK	
BAL. DUE		<input type="radio"/> MONEY ORDER	
		<input type="radio"/> CREDIT CARD	

3-11

“B” Exhibits – Agency Comments



**BRYAN COUNTY
COMMUNITY DEVELOPMENT DEPARTMENT**

51 North Courthouse Street
P.O. Box 1071
Pembroke, Georgia 31321
912-653-3893
(Fax) 653-3864

66 Capt. Matthew Freeman Drive
Suite 201
Richmond Hill, Georgia 31324
912-756-7953
(Fax) 756-7951

Article XIII, Section 302 of the Bryan County Zoning Ordinance requires that we secure comments from the Engineering Director, Fire Chief, County Health Director, and Public Works Director on the following zoning application:

CASE # _____ **PZ Date:** _____ **Comments by:** _____

Zoning Request: _____

Filed by: _____

Owners: _____

Property address: _____

Map and Parcel # _____

Comments Sign and Date

Engineering Director: _____

Fire Chief: _____

County Health Director: _____

Public Works Director: _____

Bryan County Schools (optional): _____

"Exhibit B-2"



**BRYAN COUNTY
COMMUNITY DEVELOPMENT DEPARTMENT**

51 North Courthouse Street
P.O. Box 1071
Pembroke, Georgia 31321
912-653-3893
(Fax) 653-3864

66 Capt. Matthew Freeman Drive
Suite 201
Richmond Hill, Georgia 31324
912-756-7953
(Fax) 756-7951

Article XIII, Section 302 of the Bryan County Zoning Ordinance requires that we secure comments from the Engineering Director, Fire Chief, County Health Director, and Public Works Director on the following zoning application:

CASE # Z#230-20 **PZ Date:** Sept. 1, 2020 **Comments by:** Friday, Aug. 7, 2020

Zoning Request: Rezone from B-2 to AR-1.5 for a residential build

Filed by: Teresa Salmerson

Owners: same

Property address: 1622 Harris Trail Rd

Map and Parcel # 054-037-01/054-037-02

Comments Sign and Date

Engineering Director: _____

Fire Chief: No issue [Signature] 7/3/20

County Health Director: _____

Public Works Director: _____

Bryan County Schools (optional): _____

"B-3"



**BRYAN COUNTY
COMMUNITY DEVELOPMENT DEPARTMENT**

51 North Courthouse Street
P.O. Box 1071
Pembroke, Georgia 31321
912-653-3893
(Fax) 653-3864

66 Capt. Matthew Freeman Drive
Suite 201
Richmond Hill, Georgia 31324
912-756-7953
(Fax) 756-7951

Article XIII, Section 302 of the Bryan County Zoning Ordinance requires that we secure comments from the Engineering Director, Fire Chief, County Health Director, and Public Works Director on the following zoning application:

CASE # Z#230-20 **PZ Date:** Sept. 1, 2020 **Comments by:** Friday, Aug. 7, 2020

Zoning Request: Rezone from B-2 to AR-1.5 for a residential build

Filed by: Teresa Salmerson

Owners: same

Property address: 1622 Harris Trail Rd

Map and Parcel # 054-037-01/054-037-02

Comments Sign and Date

Engineering Director: No comments

Fire Chief: _____

County Health Director: Additional information need to ~~run~~ determine if septic is required. 8.7.20

Public Works Director: _____

Bryan County Schools (optional): _____

“C” Exhibits – Bryan County Supplements



- Interstate, U.S. & State Highways, & Other Major Roads
- Roads
- Subject Parcels 054-037-01 & 054-037-02
- Parcels

**Overview Map
Teresa Salmeron
Case Z# 230-20**

"Exhibit C-1"

DISCLAIMER
Information represented in this compilation from numerous digital GIS resources is solely for planning and illustration purposes. It is not suitable for site-specific decision making. The accuracy of this product is dependent upon the source data and therefore the accuracy cannot be guaranteed. The areas depicted in this GIS Map Product are approximate, and is not necessarily accurate to surveying or engineering standards. Bryan County, City of Richmond Hill, or City of Pensbroke assumes no responsibility or liability for the information contained therein or if information is used for other than its intended purpose. Reproduction, dissemination, altering this data is not authorized without prior consent. Bryan County, City of Richmond Hill, or City of Pensbroke assumes no responsibility or liability for modified data.





Subject Parcels 054-037-01 & 054-037-02
 Interstate, U.S. & State Highways, & Other Major Roads
 Roads
 Parcels



Location Map
Teresa Salmeron
Case Z# 230-20

"Exhibit C-2"

DISCLAIMER
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Notified Owners
 Subject Parcels 054-037-01 & 054-037-02
 Interstate, U.S. & State Highways, & Other Major Roads
 Roads
 Parcels

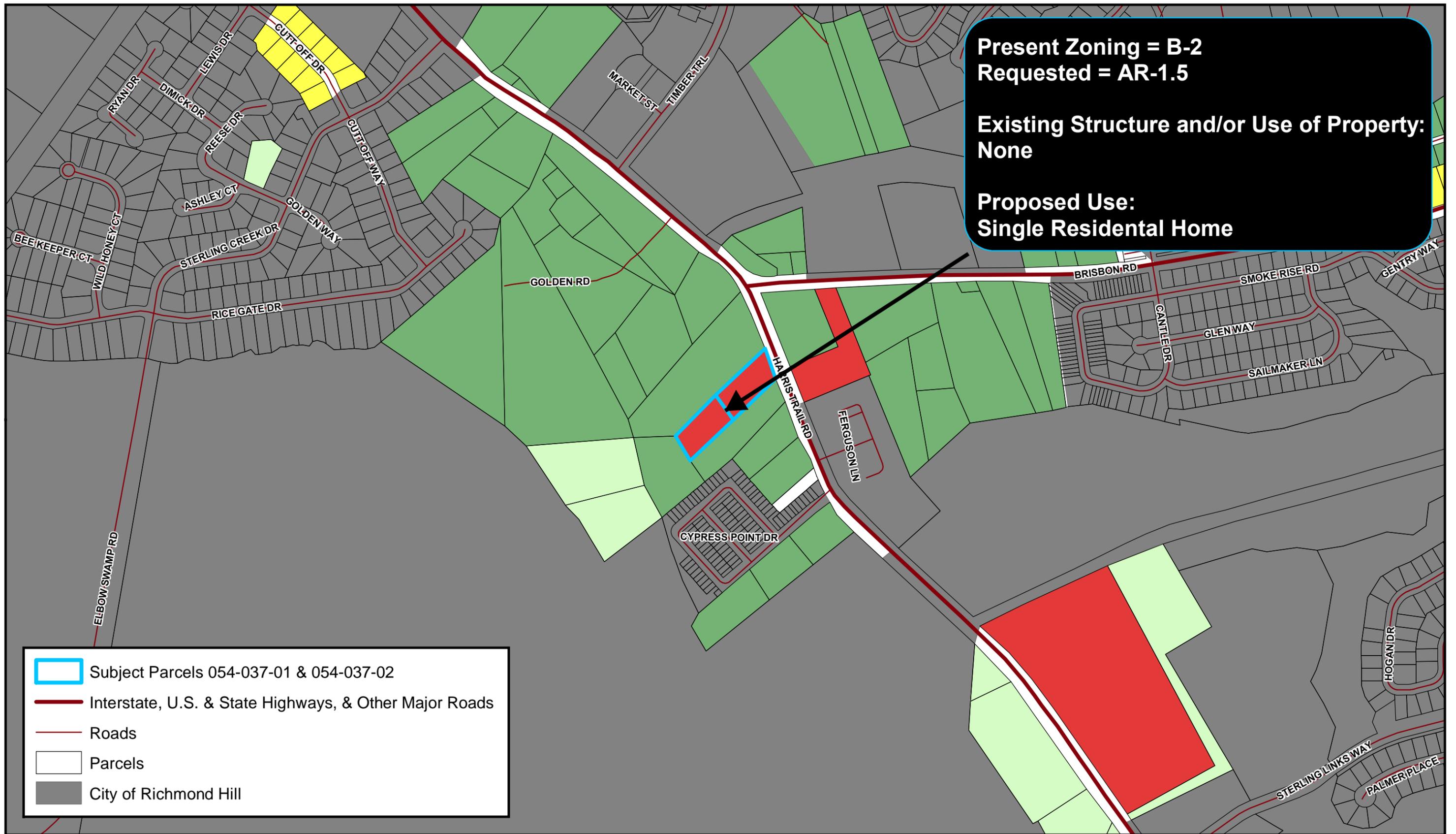
PARCEL #	OWNER
054 030	LESTER HAZEL & WILLIAMS ISABELLE &
054 033	GRIFFIN STEVEN J
054 034	HARRIS SAMUEL B, MAMIE L, JOSEPH N, MARY
054 035	WILSON CARRIE B
054 036	HARRIS HERBERT HARRIS ESTATE
054 037	HARRIS DEBRA
054 037 03	HARRIS HERBERT
054 037 04	HALL MILDRED HARRIS
054 037 05	LATAILLADE STELLA MAE
054 038	MISHER ANNE MARIE & MISHER TERRASS SCOTT
054 054	CREEK VALLEY TOWNHOMES PROPERTY OWNERS
054 054 01	HONNOR ENTERPRISES LLC
054F 017	CARNES JOSEPH L & EMILY C AS TRUSTEES OF
054F 018	CARNES JOSEPH L & EMILY C, AS CO-TRUSTEE
054F 019	KEIB ERIKA M
054F 020	JONES JOSEPH P
054F 021	MALAKAR FELISHA DANIELLE & ANUP MALAKAR
054F 022	KIMBERLY COBB-MORRIS
054F 023	GAMBILL LOUIS L & LINDA M
054F 024	WINTERS REAL ESTATE INVESTMENTS LLC
054F 025	MILES ANNE MARIE
054F 026	BURNS ED JAMES T
054F 027	HOLLENBECK NEIL A
054F 046	SARDINAS ANTHONY V & DENISE M
054F 075	KEA JENNIFER L
054F 076	CANNON BRANDON S
054F 077	EXLEY MELINDA L
054F 078	BLOUNT ANGELA M
054F 079	LAMBERT TAMMY L
054F 080	KONKLEWSKI JOSEPH H
054F 105 CA	CYPRESS DEVELOPMENT LLC
054F 106 CA	CYPRESS DEVELOPMENT LLC
054F 107 CA	CYPRESS DEVELOPMENT LLC
U54 087	GEORGIA TRANSMISSION CORP



Notification Map
Teresa Salmeron
Case Z# 230-20

"Exhibit C-3"

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“D” Exhibits – Public Comment

None Received

BRYAN COUNTY BOARD OF COUNTY COMMISSIONERS

CASE SP#12-20

Meeting Date: September 1, 2020

<p>REGARDING THE APPLICATION OF: Jason Bryant representing 17 Ventures, LLC, requesting design guideline modifications and waivers for property located at 35 Chandler Street, identified by PIN# 048 011 in unincorporated Bryan County, Georgia. The applicant is requesting modifications and waivers to the Building and Site Design Guidelines.</p>	<p>Staff Report By: Sara Farr-Newman Dated: August 25, 2020</p>
--	---

I. Application Summary

Requested Action: Modifications and waivers to the Building and Site Design Guidelines for the requirements for pedestrian paths, bike racks, sidewalks, landscaping, and building openings. The Planning and Zoning Board renders the final decision.

Representative: Jason Bryant
Pittman Engineering Co., LLC
P.O. Box 822
Richmond Hill, GA 31324

Applicant/Owner: 17 Ventures, LLC
104 Great Oaks Way
Richmond Hill, GA 31324

Applicable Regulations:

- Bryan County Zoning Ordinance, Appendix B – Zoning, Article III – Administration, Section 302.1 Design Objectives and Sections:
 - Section 302.6.e.iv – Pedestrian Walkways
 - Section 302.6.e.viii – Bike Racks
 - Section 302.6.f.iv – Pedestrian Parking Paths
 - Section 302.6.g.i – Landscape Corridors
 - Section 302.6.k – Landscaping
 - Section 302.6.u – Windows and Openings

II. General Information

1. Application: A request for the design modifications and waivers was received via email on August 5, 2020.

2. Notice: Public notice was not required.

3. Background: The site, 35 Chandler Street, is located in the Coastal Business Park off of Highway 17. It is identified as Lot 11 on the plat. The applicant is constructing a building to include office space, open area, and bays. The specific use of the site is not identified, as it is a spec building. The applicant is requesting several design modifications and waivers in order to accommodate a site more appropriate to industrial uses. The requests are detailed below.

4. Requested Modifications and Waivers:

Waivers

- a. Per Section 302.e.iv - *Pursuant to requirements of the Americans with Disabilities Act (ADA), all non-residential developments shall be designed with a minimum of one designated pedestrian path from each abutting street to the primary entrance(s) of the development. The county encourages the design of large non-residential projects with multiple points of pedestrian access. Such access shall be distinct from the vehicle access and visibly delineated. Appropriate locations for pedestrian access points include signalized intersections, other designated pedestrian crossings (e.g., crosswalk, pedestrian bridge), and transit stops. Internal pedestrian walkways shall be distinguished from driving surfaces through the use of raised sidewalks, special pavers, bricks, and/or scored/stamped concrete/asphalt and shall comply with ADA requirements.* The applicant is requesting to waive this requirement by not providing pedestrian paths.
- b. Per section 302.6.e.viii - *Bicycle racks shall be provided and located in a highly visible location, near the primary entrance(s) to the development and shall not obstruct the designated pedestrian walkways.* The applicant is requesting to waive this requirement.
- c. Per section 302.6.f.iv - *Parking lots should have a direct pedestrian connection to the building entry points, especially if the parking is located along the side and/or behind the buildings. Designated pedestrian access shall be provided from all public parking fields to the primary building entrances.* The applicant is requesting to waive this requirement.
- d. Per section 302.6.k - *Landscape for Public Plazas and Building Fronts. Landscaping should be provided along/against all building facades facing a parking lot or street to anchor it to the surrounding environment and to soften the appearance of the structure. In-ground landscaping should comprise the majority of the landscaping requirement. Raised planters are acceptable when designed to accentuate the architecture and or enhance pedestrian areas. All planting materials shall be sized so that landscaping has an attractive appearance at the time of installation and an established appearance within three years of planting.* The applicant is requesting to waive this requirement by providing alternative landscaping.

Modifications

- e. Per section 302.6.g.i - *Minimum width of landscape corridors along arterial and collector roads shall be 25 feet. The county may allow reductions in the corridor width to ensure continuity with an existing approved corridor. The landscape corridor shall include a minimum four- to six-foot-wide sidewalk separated from the back of curb by no less than six feet or the edge of the shoulder by at least ten feet.* The applicant is requesting to modify this requirement by not providing a sidewalk.
- f. Per Section 302.6.u - *Windows and openings. Windows and other openings shall be provided along all facades that face a public road. Windows and doors shall comprise at least 20 percent of the wall area below the roofline, lowest point of canopy, bottom of porch fascia or other architectural features defining the middle of the building.* The applicant is requesting a modification to this requirement to provide less than 20% windows and other openings.

5. Exhibits: The following Exhibits are attached hereto as referenced. All application documents were received at the Bryan County Community Development office on August 5, 2020 unless otherwise noted.

“A” Exhibits- Application:

A-1 Request for Design Guideline Modification

A-2 Site Plan Set (07-31-2020)

A-3 Elevation (07-21-2020)

“B” Exhibits- Agency Comments:

None Provided

“C” Exhibits- Bryan County Supplements

C-1 Overview Map

C-2 Location Map

C-3 Zoning Map

C-4 Site and Building Design Review Checklist

“D” Exhibits- Public Comment:

None presented

III. Analysis Under Article III – Administration, Section 302.1 – Design Objectives:

The Planning and Zoning Commission may approve a waiver or modification to the Site and Building Design Standards upon finding that the design meets each of the design objectives below:

1. Achieving building and site design that is compatible with its setting while avoiding monotonous uniformity.

Staff findings: Each request is addressed individually below:

A and C: The lot is located within an industrial park that is unlikely to have pedestrian traffic accessing the property. The entrance to the building is also easily accessible from the parking area without designated paths due to the location and small amount of parking. If the parking is required to be increased for future use additional paths may be required. The other developed sites do not incorporate pedestrian paths, and not providing these is compatible with the industrial setting.

B: The location of the lot within an industrial setting indicates bike traffic is unlikely, so not providing a bike rack is compatible with the setting.

D: The applicant is requesting to waive the landscaping requirement along the front of the building. They are proposing to provide two landscaped parking islands near the front building corners that they indicated will meet the intent. These islands will provide landscaping to soften the front of the building and maintain the landscape style of the industrial park.

E: The applicant's request to not install a sidewalk in the corridor along Highway 17 is compatible with the setting. The other lots located along Highway 17 do not include sidewalks, so installing one on the subject lot would not create a usable path.

F: The applicant's request to reduce the required window and door openings below 20% is compatible with the industrial setting, which includes warehouses and offices that do not have significant public and customer visitation. The design proposed is compatible with the industrial use and setting.

2. Protecting property values and enhancing the value of public and private investments through well-planned and well-maintained development.

Staff findings: The requested waivers and modifications permit a development that is compatible with the industrial environment already existing for the park, while maintaining the intent of the design guidelines. The proposed design enhances the landscaping, site design, and building design as proposed while also accommodating the needs of a future industrial business.

3. Promoting creative designs that surpass the quality of the minimum design guidelines established herein.

Staff findings: Permitting the requested waivers and modifications will permit a compatible industrial development without requiring elements that would not be useful or add to the design of the site and building.

4. Fostering safe, healthy and sustainable development that becomes increasingly valued in Bryan County as each year passes.

Staff findings: The requested waivers and modifications will create a lasting development for future businesses in the park. The changes will allow a development that is able to safely accommodate industrial development while still emphasizing the natural features of the site.

5. Ensuring that scale, massing, and building details are in proportion to and complementary with the surrounding neighborhood.

Staff findings: The only requested waiver that will impact building design is to reduce the percentage of window and door openings below 20%. The surrounding area is industrial, and the elevation provided is compatible with this use. It breaks up the façade as intended but also permits an industrial design for the building.

6. Emphasizing entries for people and deemphasizing the mass of garages.

Staff findings: This standard is not applicable.

7. Requiring materials that are durable in Bryan County's environment.

Staff findings: No waivers or modifications are requested that would impact materials.

8. Promoting walking and biking within and between developments.

Staff findings: While this goal is generally desirable, the location of the lot within an industrial park is not appropriate to encourage pedestrian and bike traffic that would conflict with the heavy traffic necessary for industrial uses as well as customer traffic. Waivers to the pedestrian path, sidewalk, and bike rack requirements are appropriate for the location and use of this lot.

9. Fostering site development that reflects and reinforces the natural beauty of Bryan County.

Staff findings: The waivers and modifications requested will not significantly impact the landscaping requirements and will result in a site that meets the intent of these standards and provides a landscape corridor along Highway 17.

IV. Staff Recommendation

Staff recommends approval of the requested waivers and modifications.

V. Planning and Zoning Commission Decision

Recommendation: The Commission may approve the modifications as requested, approve the modifications requested subject to conditions, or deny the requested modifications.

Motion Regarding Approval of Modifying Design Guidelines: Having considered the evidence in the record, upon motion by Commissioner _____, second by Commissioner _____, and by vote of __ to __, the Commission hereby approves as proposed/approves with conditions/denies the requested modifications.

“A” Exhibits – Application

Pittman Engineering Co., LLC

Post Office Box 822
Richmond Hill, Georgia 31324
912-445-0578

Exhibit A-1

August 5, 2020

Amanda Clement
Planning Manager
Bryan County Planning & Zoning
66 Captain Matthew Freeman Drive Suite 201
Richmond Hill, GA 31324

**Re: 35 Chandler Street aka
Lot 11 Coastal Hwy Business Park
IDO Design Waivers and Modifications**

Dear Amanda:

On behalf of our client, 17 Ventures, LLC, we hereby request waivers and modifications to the following IDO Standards.

1. Standard 302.6.e.iv and 302.6.f.iv requiring pedestrian paths (waivers).

Request a waiver from the pedestrian path requirement. There are not any sidewalks to connect or pedestrian activities within the industrial park.

2. Standard 302.6.e.viii requiring a bike rack (waiver).

Request a waiver from the bike rack requirement. Bicycle traffic is not anticipated within the industrial park. Industrial users typically arrive in passenger cars or trucks.

3. Standard 302.6.g.i requiring a sidewalk in the landscape corridor (modification).

Request a modification from installing a sidewalk in the landscape corridor. There are not any sidewalks within several miles of the site or pedestrian activities within the industrial park.

4. 302.6.k requiring landscaping along the front of the building (waiver).

Request a waiver from landscaping along the front of the building. Two landscape parking islands located at the front building corners and two additional parking landscape islands will contain 4 large canopy trees, effectively providing landscaping along the front of the building.

Amanda Clement

August 5, 2020

Page 2

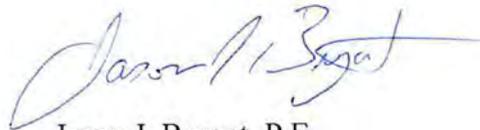
5. 302.6.u requiring windows and doors comprising 20% of the facade (modification).

Request a modification from windows and doors comprising 20% of the facade. The proposed warehouse building design is consistent with the existing building facades and character of the industrial park.

If you have any questions or comments, please do not hesitate to contact our office.

Sincerely,

PITTMAN ENGINEERING CO. LLC

A handwritten signature in blue ink, appearing to read "Jason J. Bryant". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Jason J. Bryant, P.E.

Friday, July 31, 2020 11:24:18 AM

Exhibit A-2

CONSTRUCTION PLANS

FOR

LOT 11 COASTAL HWY BUSINESS PARK

BRYAN COUNTY, GEORGIA



VICINITY MAP

The development of the included construction plans can be expected to not increase the rate of runoff per county requirements, provided the facility is constructed as designed and properly operated and maintained.

PREPARED FOR:
17 VENTURES, LLC

PROJECT DATA	
DEVELOPER:	17 VENTURES, LLC SCOTT STAFFORD 104 GREAT OAKS WAY RICHMOND HILL, GA 31324 912-663-8576
24 HOUR CONTACT:	SCOTT STAFFORD
TELEPHONE:	912-663-8576
JURISDICTION:	BRYAN COUNTY, GEORGIA
TAX MAP #:	048 011
ZONING:	I-L
PROPERTY OWNER OF RECORD:	PROPERTY OWNER
FEMA FLOOD ZONE:	ZONES AE (EL 13) & X PER LOMR 13-04-1675P
FEMA FLOOD PANEL:	MAP NUMBER 13029C0286D & 0286D, MAP DATED 8-2-2018, REVISED EFFECTIVE 12-23-2019
APPROXIMATE LOCATION OF SITE:	35 CHANDLER ST., BRYAN COUNTY, GEORGIA
VERTICAL DATUM:	NAVD 88

APRIL 21, 2020

JOB NUMBER: 20-202

PREPARED BY:
Pittman Engineering Co., LLC

Sheet List Table	
Sheet Number	Sheet Title
C1.0	COVER
C1.1	GENERAL NOTES
C1.2	LAYOUT PLAN
C1.3	TREE PROTECTION PLAN
C2.1	WATER & SEWER PLAN
C3.1	SITE GRADING PLAN
C3.2	DETAILS
C3.3	DETAILS
EC1.1	EROSION CONTROL PLAN
EC5.1	EROSION CONTROL DETAILS
EC5.2	EROSION CONTROL DETAILS



REVISION LISTING			
REV. NO.	REVISION	BY	DATE
1	REVISED PER BRYAN COUNTY COMMENTS	JJB	7/29/2020



Know what's below.
Call before you dig.



Pittman Engineering Co., LLC
2591 Hwy 17S Suite 303
Richmond Hill, GA 31324
912-445-0578
www.PittmanEngineeringCo.com

S:\Projects\Stafford\Lot 11 Coastal Highway Business Park Drawings\Construction Plans\Lot 11 Cover.dwg

Friday, July 31, 2020 11:24:28 AM

GENERAL NOTES:

OWNER/DEVELOPER:
 17 VENTURES, LLC
 SCOTT STAFFORD
 175 CEDAR STREET
 RICHMOND HILL, GA 31324
 912-445-0578
 www.PittmanEngineeringCo.com

ENGINEER:
 PITTMAN ENGINEERING CO., LLC
 POST OFFICE BOX 822
 RICHMOND HILL, GA 31324
 912-445-0578
 www.PittmanEngineeringCo.com

SITE DATA:
 ZONE: I-L
 TOTAL PROJECT ACREAGE: 1.98 ACRES
 DISTURBED ACREAGE: 1.5 ACRES
 PIN NUMBER: 048 011
 FLOOD MAP: 13029C0286D & 0286D8-2-2018, REVISED EFFECTIVE 12-23-2019
 FLOOD ZONE: X PER LOMR 13-04-1675P

SURVEY INFORMATION:
 THE BOUNDARY INFORMATION:
 REFERENCE INFORMATION TAKEN FROM COASTAL HWY BUSINESS APPROVED SITE PLANS
 THE TOPOGRAPHIC INFORMATION:
 ALL ELEVATIONS BASED ON NAVD 88

CONSTRUCTION NOTES & LEGEND

General Notes:

- All elevations are based on NAVD 88 Datum.
- Survey by . . .
- Existing utility locations shown are generally schematic in nature and may not accurately reflect the size and location of each particular utility. Contractor shall field verify location of all existing utilities prior to beginning construction. All existing utilities may not be shown on these drawings. It is the contractor's responsibility to coordinate his operation with all utilities which may be in conflict with his work. The contractor must maintain and protect all utilities, or relocate utilities as needed.
- Contractor is responsible for coordination with utility companies and adjustment of existing sanitary sewer cleanouts, manholes, water meters, storm inlets, manholes, and any other appurtenances to final grade as required.
- Contractor is responsible for worksite safety. Occurrences at worksite shall be the complete responsibility of the contractor.
- The contractor shall not begin construction until the proper permits have been issued.
- The contractor shall be responsible for locating all existing utilities prior to beginning construction activities and for avoiding all conflicts with the same. Any damage to existing utilities shall be repaired at the contractor's expense.
- The contractor shall completely clear and grub all areas within the limits of disturbance unless indicated otherwise.
- All construction shall conform to the Bryan County Codes of Ordinances.
- Contractor shall coordinate construction activities with local utility companies and adjacent property owners. Contractor shall be responsible for protection and any necessary repairs to existing utility lines.
- Three days notice to county and local utility companies is required prior to each different construction activity.
- Control of stormwater and groundwater throughout the construction period shall be the responsibility of the contractor. Existing drainage is not to be impeded during construction. All penalties, claims and fees imposed on owner as a result of damage caused by actions of the contractor, his employees or subcontractors shall be borne in full by the contractor. Storm drainage conveyance shall not be impeded and dewatering may be required for the contractor. These are considered "Means and Methods," and any and all cost associated with this activity shall be included in the respective pay category.
- Contractor shall be responsible for repairs of damage to any existing infrastructure including but not limited to roads, sidewalk, curb & gutter, landscaping, structures, and all existing conditions.
- All signs, mail boxes, shrubbery, fences, landscaping or existing structures interfering with construction shall be removed and replaced by the contractor at the contractor's expense.
- Contractor shall be solely responsible for all construction means, methods, techniques, and procedures and shall at all times take all reasonable safety precautions for the safety of its employees on the project and shall comply with all applicable provisions of federal, state, and municipal safety laws and building construction codes.
- Contractor shall comply to the fullest extent with the latest standards or OSHA directives or any other agency having jurisdiction for excavation and trenching procedures. The contractor shall provide support systems, sloping, benching and other means of protection. This shall include, but not be limited to, access and egress from all excavation and trenching. Contractor is responsible for his job site to be in complete compliance with all regulatory requirements.
- All construction debris shall be removed from the site and disposed of in an approved waste disposal area. The contractor shall be responsible for disposal of all construction debris.
- Contractor must provide proper traffic control devices for construction in accordance with "Manual of Uniform Traffic Control Devices" (latest edition).
- Only new Reinforced Concrete Pipe Class III, shall be used in county road rights-of-ways or for drainage systems or if any storm runoff from adjoining properties drain through the proposed project. HDPE drainage pipes may be used outside of County rights-of-ways.
- Pipes up to thirty-six inches in diameter shall have flared end sections.
- Pipes of dissimilar size shall be vertical aligned with their energy grade line or shall have crowns of the pipe converge at a manhole or other structure.
- All pipe joints, in addition to the required rubber gaskets, shall be covered with approved geo-textile material of sufficient width to be secured to the pipe and completely encircle the joint with 50% overlap.
- All pipe that crosses a road shall be imbedded in suitable material compacted to minimum 100% standard proctor. Suitable materials are GW, GP, GM, GC, SP, or SW soils as classified under the Unified System.
- All stormwater inlets structures shall be of the standard design and shall have inverts built in bottoms.
- Swales shall have a 5:1 side slopes or flatter.
- All PVC pipe shall be stored out of the sunlight or appropriately covered with a UV resistant cover. All PVC pipe shall be properly supported so "sagging" of the pipe doesn't occur during storage. Any PVC pipe showing UV degradation or sagging shall be removed and replaced at the contractor's expense.

Staking Notes:

- All dimensions are to the edge of pavement unless shown otherwise on the plans.
- Layout for manholes, inlets, etc., is not shown on this plan.
- The contractor shall verify existing benchmarks shown on the plans to establish vertical control on the site. The contractor shall be responsible for protecting these from unauthorized removal or replacement of benchmarks. When a permanent benchmark is located such that it must be removed to complete the project, the contractor shall establish such temporary benchmarks as he may require prior to removing the permanent benchmark. The contractor shall provide the location, identification and elevation of any temporary benchmark established to the owner and engineer.

Paving, Grading and Drainage Notes:

- The contractor shall be responsible for locating all existing underground utilities prior to beginning construction activities and for avoiding all conflicts with the same. Any damage to existing utilities shall be repaired at the contractor's expense.
- Contours shown on these plans are for general guidance and informational purposes. The contractor shall grade the site in accordance with spot elevations shown. In cases of conflict between spot elevations and contours the spot elevations will govern.
- Load bearing and structural fills shall be approved suitable material as defined in the project specs, geotechnical report, Georgia Department of Transportation specifications and International Builder's Code. The most stringent requirement shall be adhered to. Waste material may be used for flushing of shoulder or construction of pedestrian or landscaped areas if they can be stabilized and will support plant growth and meet the required degree of compaction.
- Contractor shall be responsible for ensuring proper drainage of any areas which are field adjusted during construction.
- See details for requirements for control, construction and expansion joints in concrete sidewalks and curb and gutter.
- Standard curb and gutter will be used where the drawings indicate that the gutter is to carry water. Pitched curb and gutter will be used where the drawings indicate the water will drain away from the gutter. Transitions between the two conditions shall be made as smoothly as possible.
- Invert elevations shown on the plans are to the invert of the lowest pipe.
- All storm drainage pipe shall be Class III Reinforced Concrete Pipe.

Signage and Striping Notes:

- All traffic control measures shall conform to the latest edition of the "Manual on Uniform Traffic Control Devices." The manual identification and dimensions are shown on staking sheets for each required sign. The orientation of each sign from an approaching driver's point of view is also shown. Sign and support post material and installation shall conform to the pertinent sections of the current edition of the Georgia Department of Transportation specifications (latest edition).
- Street name markers are required at all intersections.

Water and Sewer Notes:

- The contractor shall be responsible for locating all existing underground utilities prior to beginning construction activities and for avoiding all conflicts with the same. Any damage to existing utilities shall be repaired at the contractor's expense.
- All water and sewer connections to existing active systems are to be coordinated with CITY OF RICHMOND HILL a minimum of 72 hours prior to construction activities. Any damage to existing County utilities shall be repaired immediately at the Contractor's expense.
- All water and sewer construction shall be in accordance with the CITY OF RICHMOND HILL Codes of Ordinances.
- All water main pipe shall be AWWA C-900 Pressure Rated Pipe, Pressure Class 150, with dimension ratio 18 or lower and blue. If Ductile Iron water mains are necessary, they shall be Pressure Class 350, with cement interior lining in accordance with the latest revision of ANSI A-21.4 (AWWA C-104) and asphaltic exterior coating. The water service laterals shall be Polyethylene PE 3408 SDR 9 conforming to all requirements of AWWA C-901 and ASTM D-2737 latest revisions.
- All sanitary sewer pipe shall be PVC and green, ASTM D-3034, SDR-26.
- Minimum slope of 4-inch sewer laterals shall be 1.0%.
- All PVC Water Main shall be blue and all PVC Sewer shall be green.
- Sewer pipe deflection shall not exceed 5.0%. Deflection shall be verified using a spherical or cylindrical mandrel with a diameter no less than 95% of the inside pipe diameter.
- All manhole and inlet castings shall be American made. Manufacturer's specification sheets shall be submitted for review and approval.
- Manhole frame heights outside of paved areas shall be a minimum of 0.2 feet above finished grade.
- Pipe, fittings, valves, and other accessories shall, unless otherwise directed, be unloaded at the point of delivery and stored where they will be protected and will not be hazardous to traffic. They shall at all times be handled with care to avoid damage. The interior of all pipes, fittings and other accessories shall be kept free from dirt and foreign matter at all times.
- All water main thrust restraint shall be handled by use of joint restraint/mechanical joints equivalent to Ebag Ion Megalug or push-on joint type restrained joints equivalent to "Lok-Ring", "TR Flex", or "Super Lock". Concrete thrust block shall not be allowed.
- All water mains shall have a minimum cover of 3 feet and a maximum cover of 5 feet measured from finished grade. Where the water main crosses other utility lines, the water main shall be installed 18" (pipe to pipe) below the other utility lines (if required) to avoid conflicts and maintain cover.
- Maintain a minimum horizontal separation of 10 feet between water, sewer, and drainage lines unless otherwise shown.
- When pipe laying is not in progress, a mechanical joint plug or cap will be used to form a water tight seal at both ends of the line being installed.
- The following procedure shall be followed during flushing of the lines prior to connection to the water system:
 - Flush the water mains using a full size flush having a minimum velocity of 2.5 feet per second.
 - Continue flushing for a minimum time period of thirty minutes or until water line is purged of foreign matter and water runs clear.
- All water used for construction, if obtained from an unmetred line, must be metered through an approved fire hydrant meter with a backflow prevention device obtained from the municipality's water department.
- Water distribution pipe shall have a #12 Gauge Solid Copper Tracing Wire installed along its length, including laterals up to the meter or backflow preventer.
- All connections of the #12 Gauge Solid Copper Tracing Wire shall be made with 3m brand splice kits.
- Mylar detectable warning tape shall be installed in sanitary sewer trenches.
- Mylar detectable warning tape shall be installed in water distribution trenches.
- All water distribution lines shall be disinfected utilizing AWWA standards.
- Gate Valves & Valve Boxes: Gate Valves shall be cast iron or ductile iron body, bronze mounted, double disc, or resilient wedge design, with non-rising stems conforming to AWWA C-500, C-509, or C-515. Valves shall have a working pressure of 200 psi, and be tested at 400 psi.
- Hydrants shall be Mueller or approved equal with traffic yellow enamel finish and be equipped with a 4-1/2" outlet facing the street side with two 2-1/2" outlets on either side. Hydrants shall be restrained with mechanical joint fittings and rodded. Hydrant legs shall be ductile iron pressure class 350 pipe. Tracer wire shall be extended along hydrant legs, to hydrant isolation valves and up outside of valve box, and shall also extend up hydrant base terminating above grade.

Special Notes:

- All earthworks for roadways shall be in accordance with Georgia Department of Transportation requirements.
- The engineer shall make periodic site visits to observe construction of the project infrastructure and furnish an engineer's letter of completion with qualifiers at project close-out.
- All sidewalks shall have no more than 2% cross slope, including driveway crossings.
- All earthworks for lot areas and building pads shall be in conformance with the geotechnical report prepared for owner by others. The contractor shall request this report from the owner if it has not been furnished in the bid documents. Any recommendations contested by the contractor shall be submitted to the owner prior to commencing. Failing to notify the owner and resolving any conflicts, the contractor will be considered to have proceeded at their own risk and expense.
- Contractor shall furnish as-built data for the water, sewer and storm lines which are to be stamped by a registered land surveyor registered in the state of Georgia. The survey shall be delivered in AutoCAD format and be in compliance with the county requirements.
- The roads and drainage in this project are private and shall NOT be owned and maintained by Bryan County.

LEGEND

LINE STYLES

	CENTER LINE
	DEMOLITION/ABANDONMENT
	CONSTRUCTION LIMITS
	PROPOSED OVERHEAD COMMUNICATION
	EXISTING OVERHEAD COMMUNICATION
	PROPOSED UNDERGROUND COMMUNICATION
	EXISTING UNDERGROUND COMMUNICATION
	PROPOSED OVERHEAD ELECTRICAL
	EXISTING OVERHEAD ELECTRICAL
	PROPOSED UNDERGROUND ELECTRICAL
	EXISTING UNDERGROUND ELECTRICAL
	PROPOSED FORCE MAIN
	EXISTING FORCE MAIN
	PROPOSED NATURAL GAS MAIN
	EXISTING NATURAL GAS MAIN
	PROPOSED NON-POTABLE WATER
	EXISTING NON-POTABLE WATER
	PROPOSED SANITARY SEWER
	EXISTING SANITARY SEWER
	PROPOSED WATER MAIN
	EXISTING WATER MAIN
	RIGHT OF WAY
	PROPERTY LINE
	LIMITS OF FILL
	WELDED WIRE FABRIC
	TREE LINE
	RAIL ROAD
	DRAINAGE CHANNEL
	SILT FENCE
	PROPOSED FENCE
	EXISTING FENCE
	GAURD RAIL
	BREAK LINE
	STREAM BUFFER
	LIMITS OF 100 YEAR FLOOD PLANE
	SOIL BOUNDARY
	PROPOSED MAJOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MINOR CONTOUR

PATTERNS

	POROUS
	BLOCK WALL
	BRICK WALL
	CONCRETE (PLAN)
	CONCRETE (SECTION)
	ASPHALT (PLAN)
	ASPHALT (SECTION)
	GRATING
	GROUT
	RIP-RAP
	GRAVEL
	SWAMP
	UNDISTURBED EARTH
	DISTURBED EARTH
	SAND
	ROCK

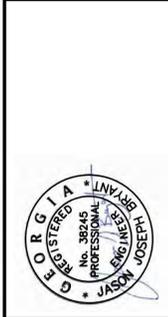
LEGEND

	CENTER LINE
	FIRE HYDRANT
	WATER MANHOLE
	WATER METER
	SANITARY SEWER MANHOLE
	GREASE TRAP
	STORM DRAIN MANHOLE
	COMMUNICATION MANHOLE
	COMMUNICATION VAULT
	UTILITY POLE
	IN LINE VALVE
	HORIZONTAL CONTROL POINT
	GUY WIRE
	ELECTRICAL MANHOLE
	BENCHMARK
	VALVE IN MANHOLE
	GRATE INLET

VEGETATION

	GENERIC TREE
	DECIDUOUS TREE
	CONIFEROUS TREE
	DECIDUOUS SHRUB
	CONIFEROUS SHRUB

REV.	BY	DATE



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GENERAL NOTES
 LOT 11 COASTAL HWY BUSINESS PARK
 BRYAN COUNTY, GEORGIA
 Prepared For
 17 VENTURES, LLC

Project No. 20-202
 Drawn By: JJB
 Designed By: JJB
 Checked By: RAP
 Scale: 1"=20'
 Date: 4/20/20

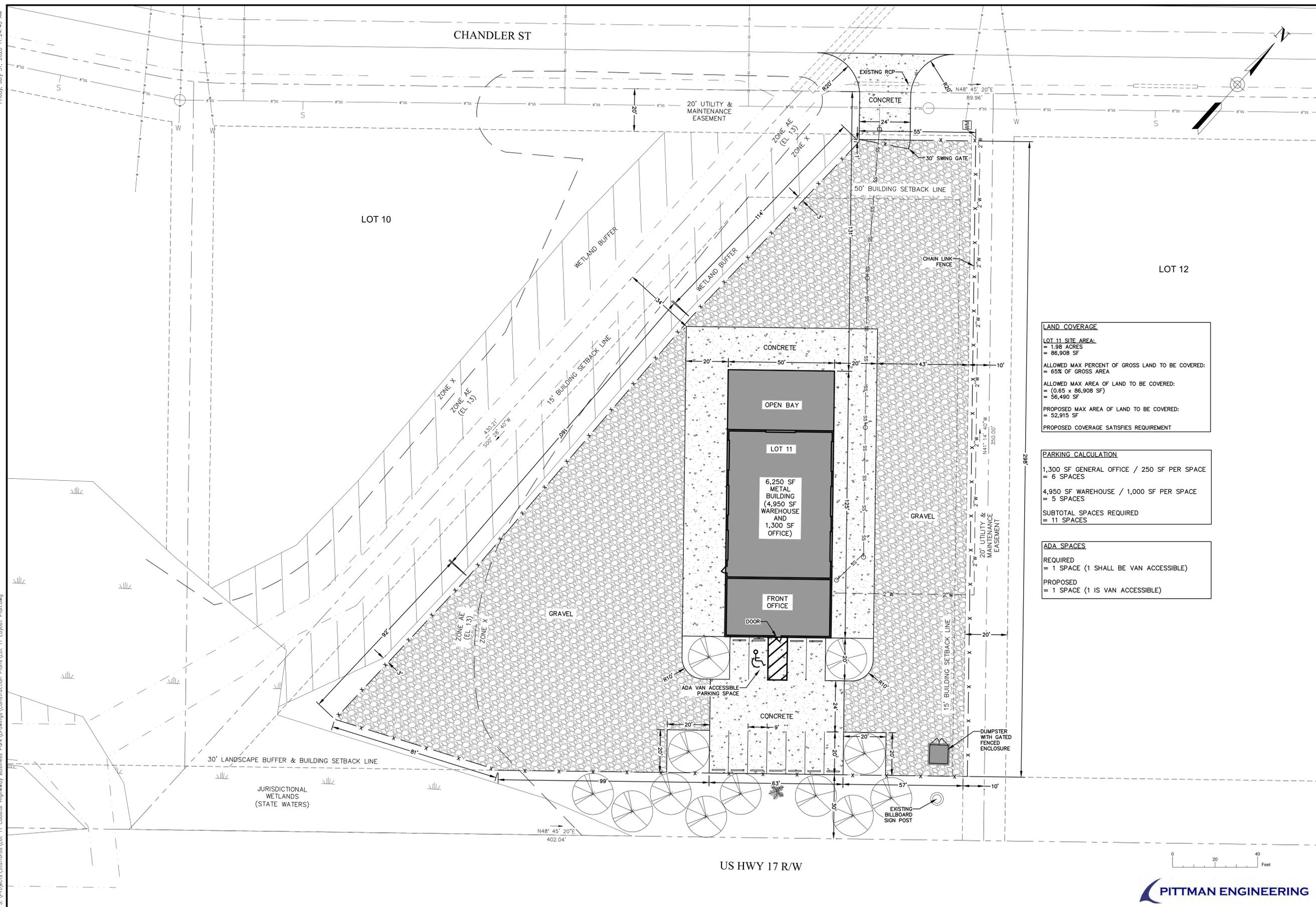
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LAND COVERAGE

LOT 11 SITE AREA:
 = 1.98 ACRES
 = 86,908 SF

ALLOWED MAX PERCENT OF GROSS LAND TO BE COVERED:
 = 65% OF GROSS AREA

ALLOWED MAX AREA OF LAND TO BE COVERED:
 = (0.65 x 86,908 SF)
 = 56,490 SF

PROPOSED MAX AREA OF LAND TO BE COVERED:
 = 52,915 SF

PROPOSED COVERAGE SATISFIES REQUIREMENT

PARKING CALCULATION

1,300 SF GENERAL OFFICE / 250 SF PER SPACE
 = 6 SPACES

4,950 SF WAREHOUSE / 1,000 SF PER SPACE
 = 5 SPACES

SUBTOTAL SPACES REQUIRED
 = 11 SPACES

ADA SPACES

REQUIRED
 = 1 SPACE (1 SHALL BE VAN ACCESSIBLE)

PROPOSED
 = 1 SPACE (1 IS VAN ACCESSIBLE)



REV.	BY	DATE
1	JJB	7/29/2020

JASON J. BRYANT, P.E.
 GSWCC LEVEL II
 DESIGN PROFESSIONAL
 CERTIFICATION #73897

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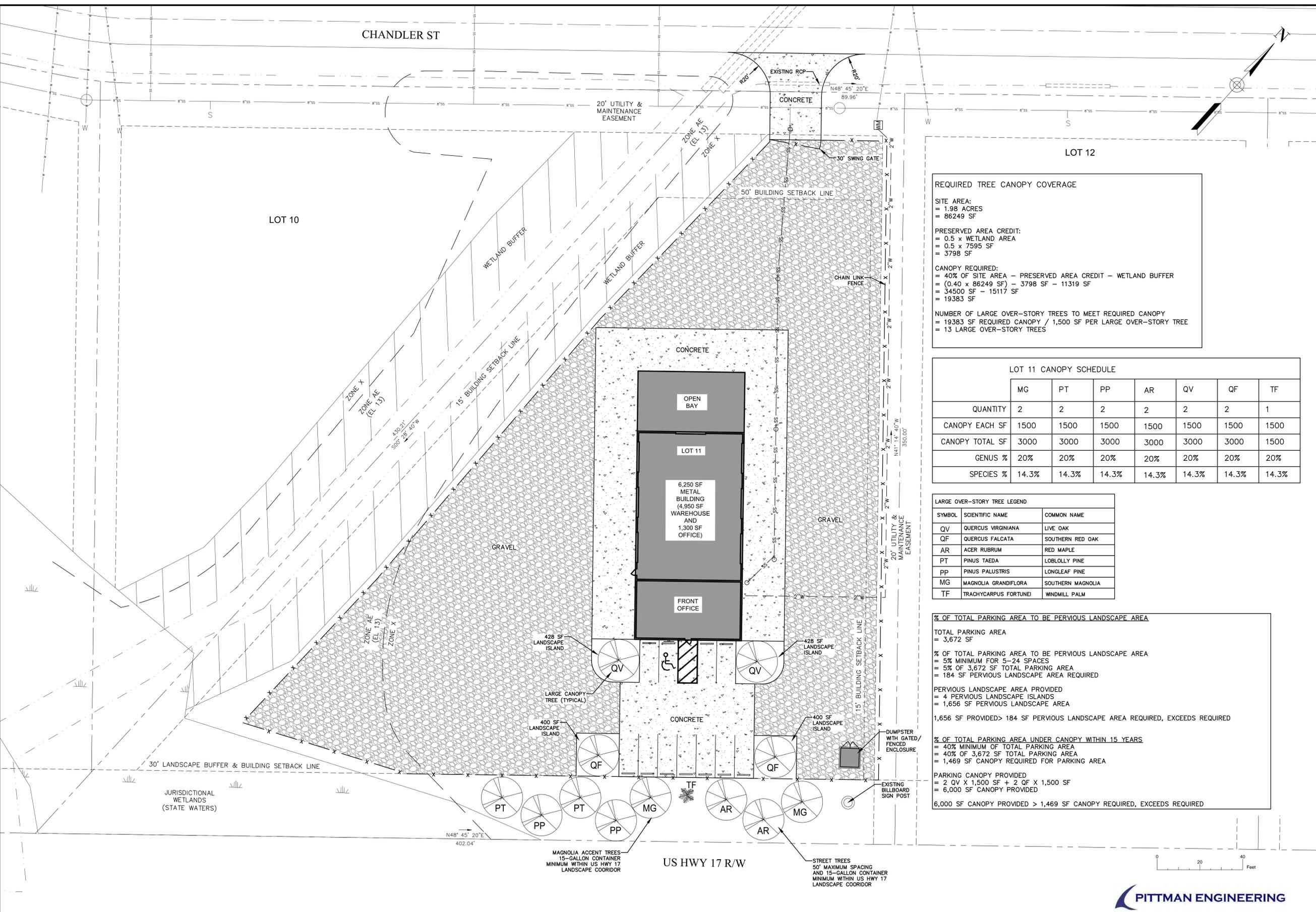
LAYOUT PLAN
LOT 11 COASTAL HWY BUSINESS PARK
 BRYAN COUNTY, GEORGIA
 Prepared For
17 VENTURES, LLC

Project No. 20-202
 Drawn By: JJB
 Designed By: JJB
 Checked By: RAP
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REQUIRED TREE CANOPY COVERAGE

SITE AREA:
= 1.98 ACRES
= 86249 SF

PRESERVED AREA CREDIT:
= 0.5 x WETLAND AREA
= 0.5 x 7595 SF
= 3798 SF

CANOPY REQUIRED:
= 40% OF SITE AREA - PRESERVED AREA CREDIT - WETLAND BUFFER
= (0.40 x 86249 SF) - 3798 SF - 11319 SF
= 34500 SF - 15117 SF
= 19383 SF

NUMBER OF LARGE OVER-STORY TREES TO MEET REQUIRED CANOPY
= 19383 SF REQUIRED CANOPY / 1,500 SF PER LARGE OVER-STORY TREE
= 13 LARGE OVER-STORY TREES

LOT 11 CANOPY SCHEDULE

	MG	PT	PP	AR	QV	QF	TF
QUANTITY	2	2	2	2	2	2	1
CANOPY EACH SF	1500	1500	1500	1500	1500	1500	1500
CANOPY TOTAL SF	3000	3000	3000	3000	3000	3000	1500
GENUS %	20%	20%	20%	20%	20%	20%	20%
SPECIES %	14.3%	14.3%	14.3%	14.3%	14.3%	14.3%	14.3%

LARGE OVER-STORY TREE LEGEND

SYMBOL	SCIENTIFIC NAME	COMMON NAME
QV	QUERCUS VIRGINIANA	LIVE OAK
QF	QUERCUS FALCATA	SOUTHERN RED OAK
AR	ACER RUBRUM	RED MAPLE
PT	PINUS TAEDA	LOBLOLLY PINE
PP	PINUS PALUSTRIS	LONGLEAF PINE
MG	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA
TF	TRACHYCARPUS FORTUNEI	WINDMILL PALM

% OF TOTAL PARKING AREA TO BE PERVIOUS LANDSCAPE AREA

TOTAL PARKING AREA
= 3,672 SF

% OF TOTAL PARKING AREA TO BE PERVIOUS LANDSCAPE AREA
= 5% MINIMUM FOR 5-24 SPACES
= 5% OF 3,672 SF TOTAL PARKING AREA
= 184 SF PERVIOUS LANDSCAPE AREA REQUIRED

PERVIOUS LANDSCAPE AREA PROVIDED
= 4 PERVIOUS LANDSCAPE ISLANDS
= 1,656 SF PERVIOUS LANDSCAPE AREA

1,656 SF PROVIDED > 184 SF PERVIOUS LANDSCAPE AREA REQUIRED, EXCEEDS REQUIRED

% OF TOTAL PARKING AREA UNDER CANOPY WITHIN 15 YEARS
= 40% MINIMUM OF TOTAL PARKING AREA
= 40% OF 3,672 SF TOTAL PARKING AREA
= 1,469 SF CANOPY REQUIRED FOR PARKING AREA

PARKING CANOPY PROVIDED
= 2 QV X 1,500 SF + 2 QF X 1,500 SF
= 6,000 SF CANOPY PROVIDED

6,000 SF CANOPY PROVIDED > 1,469 SF CANOPY REQUIRED, EXCEEDS REQUIRED

REV.	BY	DATE
1	JJB	7/29/2020

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TREE PROTECTION PLAN

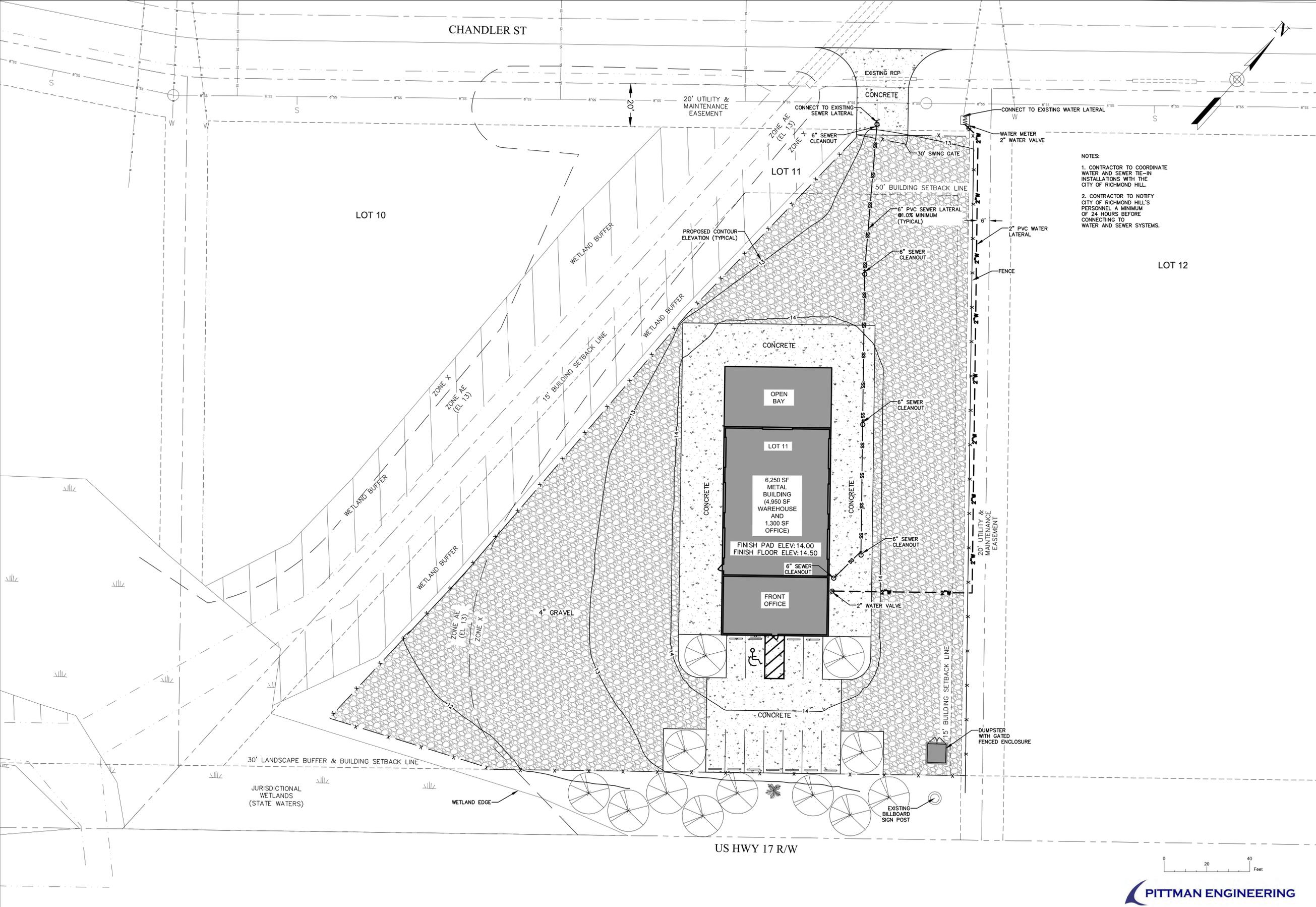
LOT 11 COASTAL HWY BUSINESS PARK
BRYAN COUNTY, GEORGIA

Prepared For
17 VENTURES, LLC

Project No. 20-202
Drawn By: JJB
Designed By: JJB
Checked By: RAP
Scale: 1"=20'
Date: 5/12/20



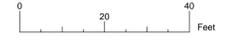
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NOTES:

1. CONTRACTOR TO COORDINATE WATER AND SEWER TIE-IN INSTALLATIONS WITH THE CITY OF RICHMOND HILL.
2. CONTRACTOR TO NOTIFY CITY OF RICHMOND HILL'S PERSONNEL A MINIMUM OF 24 HOURS BEFORE CONNECTING TO WATER AND SEWER SYSTEMS.

LOT 12



REV.	REVISIONS	BY	DATE

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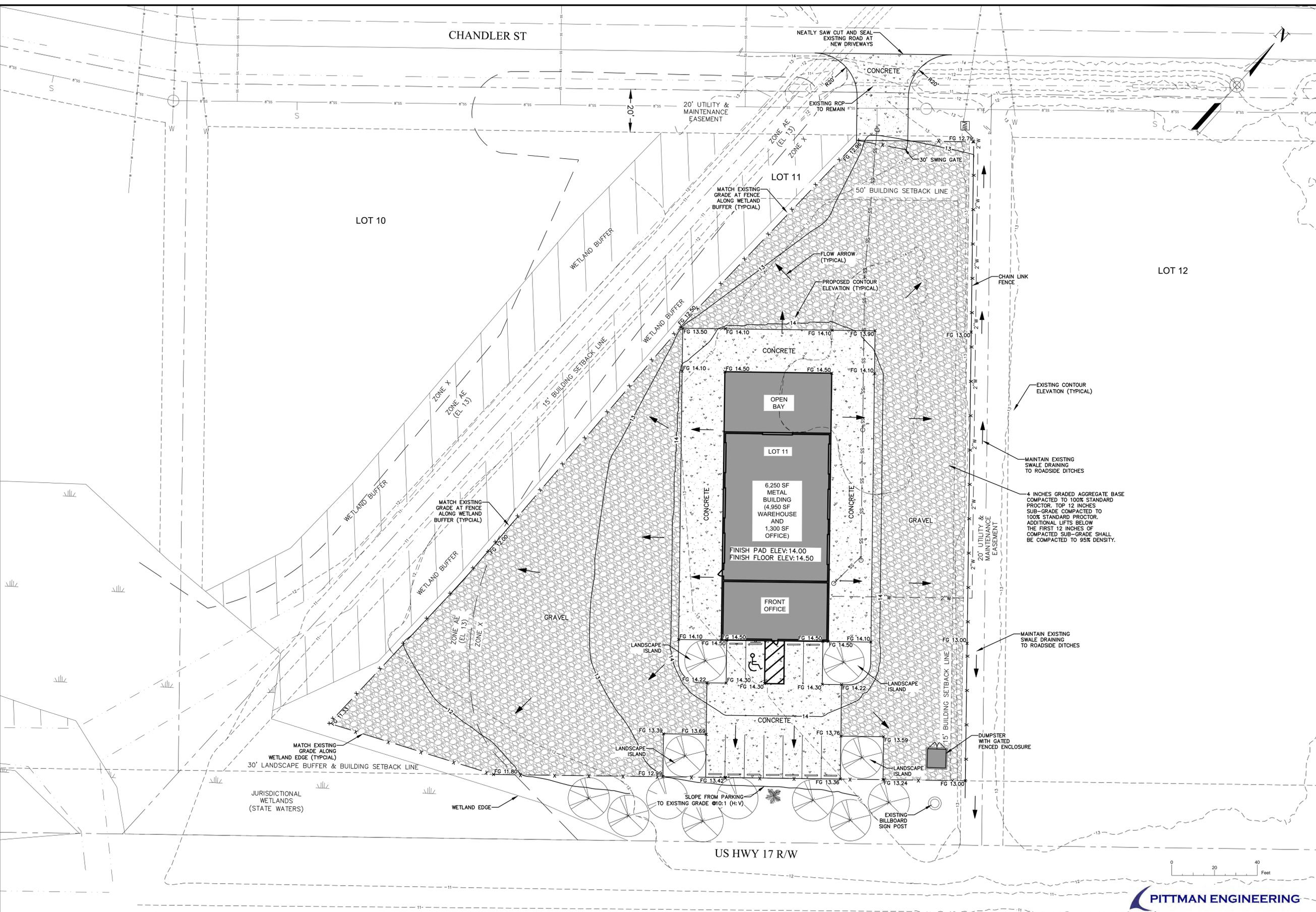
WATER & SEWER PLAN
LOT 11 COASTAL HWY BUSINESS PARK
 BRYAN COUNTY, GEORGIA
 Prepared For
17 VENTURES, LLC

Project No. **20-202**
 Drawn By: **JJB**
 Designed By: **JJB**
 Checked By: **RAP**
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REV.	REVISIONS	BY	DATE
1	REVISED PER BRYAN COUNTY COMMENTS	JJB	7/29/2020

JASON J. BRYANT, P.E.
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SITE GRADING PLAN
LOT 11 COASTAL HWY BUSINESS PARK
 BRYAN COUNTY, GEORGIA
 Prepared For
17 VENTURES, LLC

Project No. 20-202
 Drawn By: JJB
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 Checked By: RAP
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 Date: 5/12/20

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NOTES:
 A- STANDARD ADJUSTABLE CLEANOUT HEAVY DUTY CAST IRON 12" BOX FRAME (TOP SECTION ONLY) . IT MUST CONFORM TO THE REQUIREMENTS OF AASHTO M 105-06/ASTM A48 CLASS 35B (GRAY IRON CASTING) . THE FRAME SHALL NOT REST ON TOP OF THE PVC LATERAL.
 1- FOR PIPES LARGER THAN 10" DIA. A STANDARD MANHOLE COVER MUST BE USED.
 2- CLEANOUT MUST HAVE THE "SEWER" EMBOSSED IN LID.
 B- INSTALL A CONCRETE CL 3000 COLLAR WHEN CO IS GOING TO BE LOCATED OUTSIDE OF PAVED AREAS.
 C- BEDDING AND BACKFILL MUST CONFORM WITH THE SAME REQUIREMENT AS A SEWER LINE (SEE CITY'S EDS)
 D- 45° BEND
 E- WYE.
 "ADJACENT TO THE DRIVEWAY" APPLIES TO ANY SANITARY SEWER LATERAL LOCATED WITHIN 12 FEET OF THE EDGE OF THE DRIVEWAY.

ELEVATIONS N.T.S.

CONCRETE COLLAR (2'x2'x4')

HEAVY DUTY CAST IRON SCREW TYPE VALVE BOX AND COVER, MARKED "WATER" IF FOR FORCED MAIN, MUST BE MARKED "SEWER" IF FOR URBAN REUSE, MUST BE MARKED "REUSE"

CONCRETE COLLAR (2'x2'x4')

FINISH GRADE

6"

2" x 2" NUT

3 COMMON BRICKS EQUALLY SPACED

NOTE: TRACER WIRE INSTALLED IN VALVE BOX FOR EASY CONNECTION

CITY OF RICHMOND HILL STANDARD CONSTRUCTION DETAIL S-14
 DATE: MARCH, 2019
 CLEANOUT ADJUSTMENT TO GRADE ADJACENT TO DRIVEWAYS

NOTES:
 1. SERVICES SHOULD BE DESIGNED TO AVOID ALIGNMENT WITH DRIVEWAYS, SEE DETAIL W-10.
 2. SUBGRADE SHALL BE COMPACTED AS PER SUBGRADE PREPARATION.

PLAN VIEW

SECTION B-B

CITY OF RICHMOND HILL STANDARD CONSTRUCTION DETAIL S-15
 DATE: MARCH, 2019
 CLEANOUT ADJUSTMENT TO GRADE IN DRIVEWAYS

NOTES:
 THE SEPARATION OF WATER MAINS AND SEWERS SHALL COMPLY WITH THE GEORGIA ENVIRONMENTAL PROTECTION DIVISION MINIMUM STANDARDS FOR PUBLIC WATER SYSTEMS, WHICH ARE GENERALLY AS FOLLOWS:
 A. PARALLEL INSTALLATION:
 1. NORMAL CONDITIONS: THE INSIDE EDGE OF A WATER LINE SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM THE INSIDE EDGE OF ANY SANITARY SEWER, STORM SEWER OR SEWER MANHOLE.
 2. UNUSUAL CONDITIONS: WHEN LOCAL CONDITIONS PREVENT A HORIZONTAL SEPARATION OF 10 FEET, AND WHEN APPROVED BY THE ENGINEER, THE INSIDE EDGE OF A WATER MAIN MAY BE LAID A MINIMUM OF 5 FEET FROM THE INSIDE EDGE OF A SEWER PROVIDED THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES HIGHER THAN THE TOP OF THE SEWER (SEE DETAIL), AND THE WATER MAIN IS LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF.
 B. CROSSINGS:
 1. NORMAL CONDITIONS: WHENEVER POSSIBLE, THE BOTTOM OF THE WATER MAIN SHALL BE AT LEAST 18 INCHES HIGHER THAN THE TOP OF THE SEWER.
 2. UNUSUAL CONDITIONS: IF A WATER MAIN MUST CROSS UNDER A SEWER, THE TOP OF THE WATER MAIN SHALL BE AT LEAST 18 INCHES LOWER THAN THE BOTTOM OF THE SEWER, THE WATER MAIN PIPE SHALL BE CENTERED AT THE CROSSING SO THAT THE JOINTS ARE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE SEWER, AND ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF THE SEWER AT THE CROSSING. ADEQUATE STRUCTURAL SUPPORT SHALL INCLUDE BACKFILLING THE ENTIRE UTILITY CROSSING AREA WITH 3/4" CRUSHED STONE AS SHOWN IN THE DETAIL.

CITY OF RICHMOND HILL MINIMUM WATER AND SEWER-PIPE SEPARATION REQUIREMENTS
 APPROVED BY: RD DATE: 4/21/06 DRAWING NO. S-9
 SCALE: NTS REVISED:

METER BOX INSTALLATION IN GROUND

NOTE:
 APPLICABLE TO ALL COMMERCIAL AND NEW RESIDENTIAL ONLY.

CITY OF RICHMOND HILL DOUBLE CHECK VALVE & METER ASSEMBLY FOR DOMESTIC SERVICE FOR COMMERCIAL SITES
 APPROVED BY: RD DATE: 4/21/06 DRAWING NO. W-11
 SCALE: NTS REVISED:

NOTES:
 THE SEPARATION OF WATER MAINS: SEWERS AND URBAN REUSE MAINS SHALL COMPLY WITH THE GEORGIA ENVIRONMENTAL PROTECTION DIVISION MINIMUM STANDARDS FOR PUBLIC WATER SYSTEMS, WHICH ARE GENERALLY AS FOLLOWS:
 A. PARALLEL INSTALLATION:
 1. NORMAL CONDITIONS: THE INSIDE EDGE OF A WATER LINE SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM THE INSIDE EDGE OF ANY SANITARY SEWER, STORM SEWER OR SEWER MANHOLE.
 2. UNUSUAL CONDITIONS: WHEN LOCAL CONDITIONS PREVENT A HORIZONTAL SEPARATION OF 10 FEET, AND WHEN APPROVED BY THE ENGINEER, THE INSIDE EDGE OF A WATER MAIN MAY BE LAID A MINIMUM OF 5 FEET FROM THE INSIDE EDGE OF A SEWER PROVIDED THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES HIGHER THAN THE TOP OF THE SEWER (SEE DETAIL), AND THE WATER MAIN IS LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF.
 B. CROSSINGS:
 1. NORMAL CONDITIONS: WHENEVER POSSIBLE, THE BOTTOM OF THE WATER MAIN SHALL BE AT LEAST 18 INCHES HIGHER THAN THE TOP OF THE SEWER.
 2. UNUSUAL CONDITIONS: IF A WATER MAIN MUST CROSS UNDER A SEWER OR REUSE MAIN, THE TOP OF THE WATER MAIN SHALL BE AT LEAST 18 INCHES LOWER THAN THE BOTTOM OF THE SEWER, THE WATER MAIN PIPE SHALL BE CENTERED AT THE CROSSING SO THAT THE JOINTS ARE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE SEWER, AND ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF THE SEWER AT THE CROSSING. ADEQUATE STRUCTURAL SUPPORT SHALL INCLUDE BACKFILLING THE ENTIRE UTILITY CROSSING AREA WITH 3/4" CRUSHED STONE AS SHOWN IN THE DETAIL.

CITY OF RICHMOND HILL MINIMUM WATER AND SEWER-PIPE SEPARATION REQUIREMENTS
 APPROVED BY: RD DATE: 4/21/06 DRAWING NO. W-8
 SCALE: NTS REVISED:

CITY OF RICHMOND HILL VALVE BOX DETAIL
 APPROVED BY: RD DATE: 4/21/06 DRAWING NO. W-3
 SCALE: NTS REVISED:

NO.	REVISIONS	BY	DATE

RAY A. PITTMAN, P.E.
 GSWCC LEVEL II
 DESIGN PROFESSIONAL
 CERTIFICATION #12469

Pittman Engineering Co., LLC
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 www.PittmanEngineeringCo.com

DETAILS

LOT 11 COASTAL HWY BUSINESS PARK
 BRYAN COUNTY, GEORGIA
 Prepared For
17 VENTURES, LLC

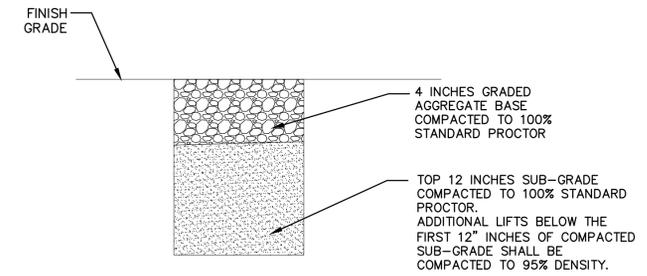
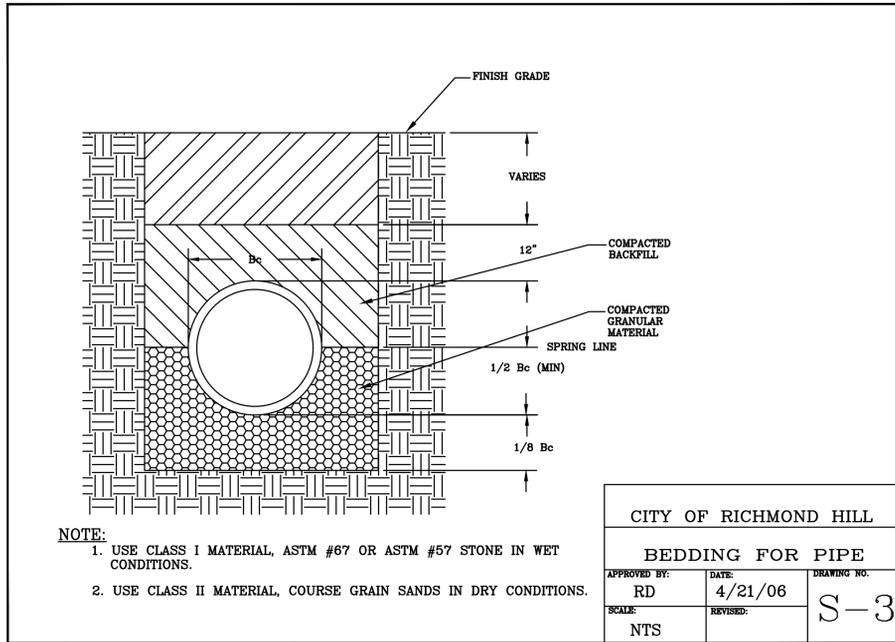
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 Designed By: JJB
 Checked By: RAP
 Scale: -
 Date: 5/12/20

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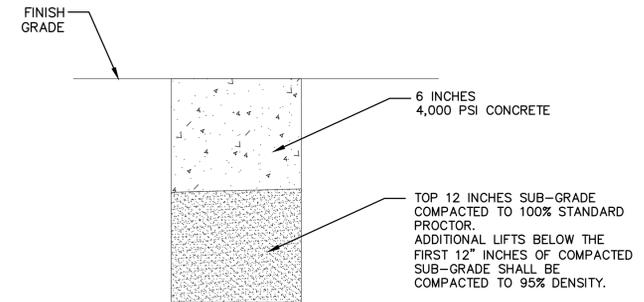
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GRAVEL SECTION

SCALE: N.T.S.



CONCRETE PAVEMENT SECTION

SCALE: N.T.S.

REV.	BY	DATE

RAY A. PITTMAN, P.E.
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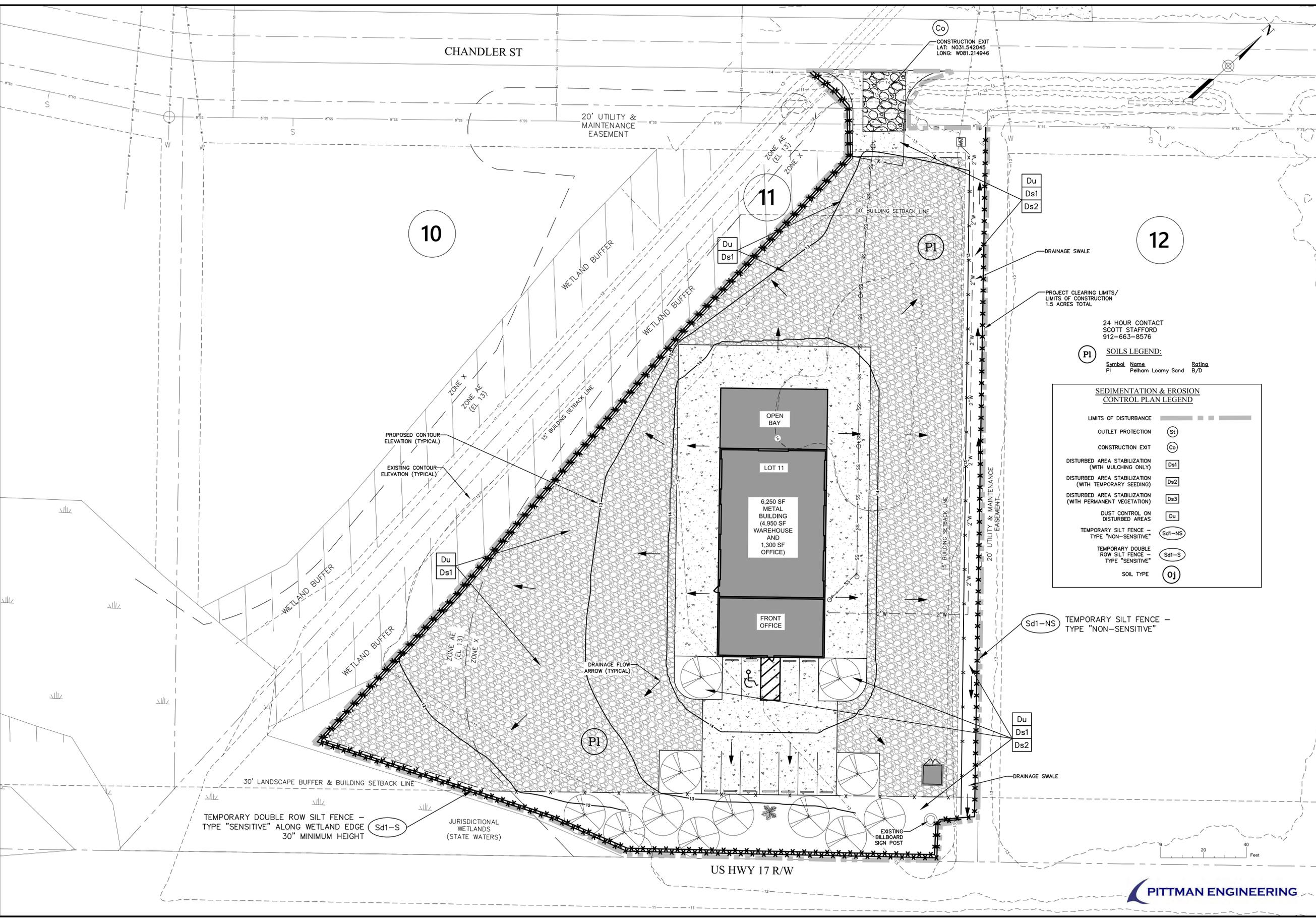
DETAILS
LOT 11 COASTAL HWY BUSINESS PARK
 BRYAN COUNTY, GEORGIA
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17 VENTURES, LLC

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PI SOILS LEGEND:
 Symbol Name Rating
 PI Pelham Loamy Sand B/D

SEDIMENTATION & EROSION CONTROL PLAN LEGEND	
LIMITS OF DISTURBANCE	---
OUTLET PROTECTION	(Sl)
CONSTRUCTION EXIT	(Co)
DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)	(Ds1)
DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)	(Ds2)
DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)	(Ds3)
DUST CONTROL ON DISTURBED AREAS	(Du)
TEMPORARY SILT FENCE - TYPE "NON-SENSITIVE"	(Sd1-NS)
TEMPORARY DOUBLE ROW SILT FENCE - TYPE "SENSITIVE"	(Sd1-S)
SOIL TYPE	(Oj)

(Sd1-NS) TEMPORARY SILT FENCE - TYPE "NON-SENSITIVE"

(Du)
(Ds1)
(Ds2)

TEMPORARY DOUBLE ROW SILT FENCE - TYPE "SENSITIVE" ALONG WETLAND EDGE 30" MINIMUM HEIGHT (Sd1-S)

JURISDICTIONAL WETLANDS (STATE WATERS)



REV.	BY	DATE
1	JJB	7/29/2020

JASON J. BRYANT, P.E.
 GSWCC LEVEL II
 DESIGN PROFESSIONAL
 CERTIFICATION #73897

24 HOUR CONTACT
 SCOTT STAFFORD
 912-663-8576

Pittman Engineering Co., LLC
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 912-445-0578
 www.PittmanEngineeringCo.com

EROSION CONTROL PLAN
 LOT 11 COASTAL HWY BUSINESS PARK
 BRYAN COUNTY, GEORGIA
 Prepared For
 17 VENTURES, LLC

Project No. 20-202
 Drawn By: JJB
 Designed By: JJB
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Ds1 DISTURBED AREA STABILIZATION (WITH MULCH ONLY)

DEFINITION

Applying plant residues or other suitable materials not produced on the site to the soil surface.

PURPOSE

To reduce runoff and erosion; conserve moisture; prevent surface compaction or crusting; to control undesirable vegetation; to modify soil temperature; to increase biological activity in the soil.

SPECIFICATIONS

A. For temporary protection of critical areas without seeding.

This standard applies to graded or cleared areas which may be subjected to erosion for 6 months or less, where seedlings may not have a suitable growing season to produce an erosion retardant cover, but which can be stabilized with a mulch cover.

Site Preparation

- Grade, as needed and feasible, to permit the use of equipment for applying and anchoring mulch.
- Install needed erosion control measures as required such as dikes, diversions, berms, terraces and sediment barriers.
- As needed and feasible, loosen compact soil to a minimum depth of 3 inches.

Mulching Materials

- Dry straw or hay - spread at a rate of 2 1/2 tons per acre.
- Wood waste, chips, sawdust or bark-spread - 2 to 3 inches deep (about 6 to 0 tons per acre).
- Erosion control matting or netting, such as excelsior, jute, textile and plastic matting and netting - applied in accordance with manufacturer's recommendations.
- Cutback asphalt, slow curing - applied at 1200 gallons per acre (or 1/4 gallon per sq. yd.).
- Polyethylene film - secured over banks or stockpiled soil material for temporary protection.

- Applying and Anchoring Mulch**
- Apply straw or hay mulch uniformly by hand or mechanically. Anchor as appropriate and feasible. It may be pressed into the soil with a disk harrow with the disk set straight or with a special "packer disk". The disk may be smooth or serrated and should be 20 inches or more in diameter and 8 to 12 inches apart. The edges of the disk should be dull enough not to cut the mulch but to press it into the soil leaving much of it in an erect position. Straw hay mulch spread with special blower-type equipment may be anchored with emulsified asphalt (Grade AE-5 or SS-1). The asphalt emulsion must be sprayed onto the mulch as it is ejected from the machine. Use 100 gallons of water per ton of mulch.
 - Spread wood waste uniformly on slopes that are 3:1 and flatter. No anchoring is needed.
 - Commercial matting and netting. Follow manufacturer's specification included with the material.
 - Apply asphalt to area has uniform appearance. (Note: Use in areas of pedestrian traffic could cause problems of "tracking in" or damage to shoes, clothing, etc.)

- B. To conserve moisture and control weeds in nurseries, ornamental beds, around shrubs, and on bare areas on lawns.**
- Use one of the material given below and apply at thickness indicated.

Mulching Materials

Material	Depth
1. Grain straw or grass hay	6" to 10"
2. Pine Needles	4" to 6"
3. Wood waste (sawdust, bark, chips)	4" to 6"
4. Shredded residues (crop, leaves, etc.)	4" to 8"

When using organic mulches, apply 20-30 pounds of nitrogen in addition to the normal amount needed for plant growth to offset the tie up of N by decomposition of mulch.

Ds2 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDINGS)

PLANTS, PLANTING RATES, AND PLANTING DATES FOR TEMPORARY COVER OR COMPANION CROPS 1/

Species	Broadcast Rates 2/PLS3/ Per Acre Per 1000 sq. ft.	Resource Area	Planting Dates (Solid lines indicate optimum dates; dotted lines indicate permissible but marginal dates.)	Remarks							
					J	F	M	A	M	J	J	A	S	O	N	D
MILLET, PEARL (Pennisetum glaucum) alone	50 lbs. 1.1 lb.	M-L, P, C	J F M A M J J A S O N D	88,000 Seed per pound. Quick dense cover. May reach 5 feet in height. Not recommended for mixtures.							
RYEGRASS, ANNUAL (Lolium temulentum) alone	40 lbs. 0.9 lb.	M-L, P, C	J F M A M J J A S O N D	227,000 seed pound. Dense cover. Very competitive and is not to be used in mixtures.							

- Temporary cover crops are very competitive and will crowd perennials if seeded too heavily.
- Reduce seeding rates by 50% when drilled.
- PLS is an abbreviation for Pure Live Seed.
- M-L represents the Mountain; Blue Ridge; and Ridges and Valleys MLRAs

P represents the Southern Piedmont MLRA
C represents Southern Coastal Plain; Sand Hills; Black Lands; and Atlantic Coast Flatwoods MLRAs

Ds3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)

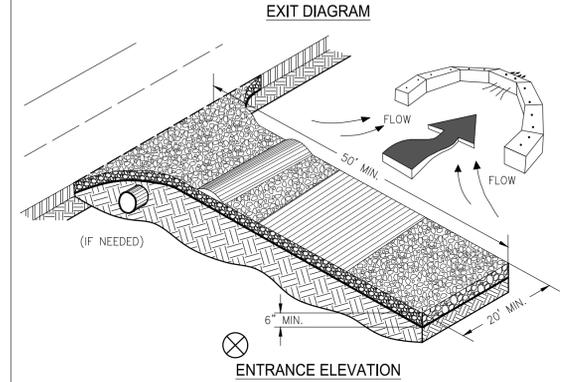
PLANTS, PLANTING RATES, AND PLANTING DATES FOR PERMANENT COVER

Species	Broadcast Rates 2/PLS3/ Per Acre Per 1000 sq. ft.	Area	Planting Dates (Solid lines indicate optimum dates; dotted lines indicate permissible but marginal dates.)	Remarks							
					J	F	M	A	M	J	J	A	S	O	N	D
BERMUDA, COMMON (Cynodon dactylon) Hulled seed alone with other perennials	10 lbs. 0.2 lb. 6 lbs. 0.1 lb.	P, C	J F M A M J J A S O N D	1,787,000 seed per pound. Quick cover. Low growing and sod forming. Full sun. Good for athletic fields.							
BERMUDA, COMMON (Cynodon dactylon) Unhulled seed with temporary cover with other perennials	10 lbs. 0.2 lb. 6 lbs. 0.1 lb.	P, C	J F M A M J J A S O N D	Plant with winter annuals. Plant with Tall fescue.							
BERMUDA SPRIGS (Cynodon dactylon) Coastal, Common, Midland, or Tift 44 or sod plugs 3' x 3'	40 cu. ft. 0.9 cu. ft. or sod plugs 3' x 3'	M-L, P, C, C	J F M A M J J A S O N D	A cubic foot contains approximately 850 sprigs. A bushel contains 1.25 cubic feet or approximately 800 sprigs. Same as above. Southern coastal plain only.							
Tift 78		P, C	J F M A M J J A S O N D	Drought tolerant. Full sun or partial shade. Effective adjacent to concrete and in concentrated flow areas. Irrigation is needed until fully established. Do not plant near pastures. Winterhardy (as far north as Atlanta and Atlanta).							
CENTPEDE (Eriopogon ophioides)	Block sod only	P, C	J F M A M J J A S O N D								
LOVEGRASS, WEEPING (Eragrostis curvula) alone in mixtures	4 lbs. 0.1 lb. 2 lbs. 0.05 lb.	M-L, P, C	J F M A M J J A S O N D	1,500,000 Seed per pound. May last for several years. Mix with Stenotaphrum secundatum.							

- Reduce seeding rates by 50% when drilled.
- PLS is an abbreviation for Pure Live Seed. Refer to Section V.E. of these specification.
- M-L represents the Mountain; Blue Ridge; and Ridges and Valleys MLRAs

P represents the Southern Piedmont MLRA; C represents Southern Coastal Plain; Sand Hills; Black Lands; and Atlantic Coast

CRUSHED STONE CONSTRUCTION EXIT (Co)



- NOTES:**
- AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
 - REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
 - AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
 - GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
 - PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
 - A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
 - INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
 - WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
 - WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
 - MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

NO.	REVISIONS	BY	DATE

RAY A. PITTMAN, P.E.
GSWCC LEVEL II
DESIGN PROFESSIONAL
CERTIFICATION #12469

Pittman Engineering Co., LLC
2591 Hwy 17S Suite 303
Richmond Hill, GA 31324
912-445-0578
www.PittmanEngineeringCo.com

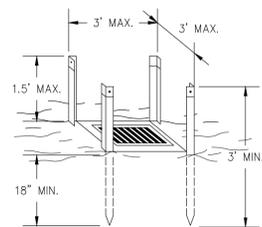
EROSION CONTROL DETAILS
LOT 11 COASTAL HWY BUSINESS PARK
BRYAN COUNTY, GEORGIA
Prepared For
17 VENTURES, LLC

Project No. 19-
Drawn By: JJB
Designed By: JJB
Checked By: RAP
Scale: 1"=20'
Date: 5/12/20

SHEET
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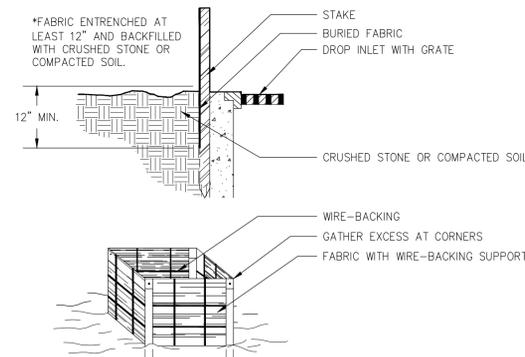
FABRIC AND SUPPORTING FRAME FOR INLET PROTECTION (Sd2-F)

STEEL FRAME AND SILT FENCE INSTALLATION

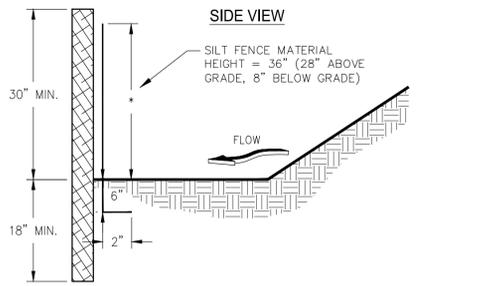


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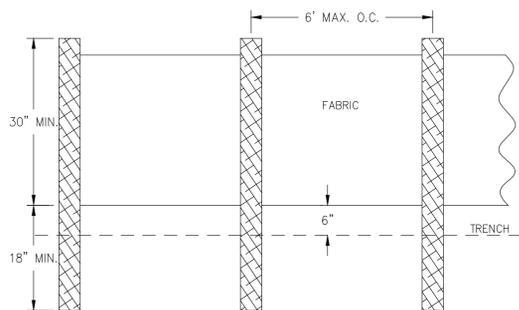
- DESIGN IS FOR SLOPES NO GREATER THAN 5% (NOT DESIGNED FOR CONCENTRATED FLOWS).
- THE STEEL POSTS SUPPORTING THE SILT FENCE MATERIAL SHOULD BE SPACED EVENLY AROUND THE PERIMETER OF THE INLET (MAXIMUM OF 3' APART).
- THE STEEL POSTS SHOULD BE SECURELY DRIVEN AT LEAST 18" DEEP.
- THE FABRIC SHOULD BE ENTRENCHED AT LEAST 12" AND THEN BACKFILLED WITH CRUSHED STONE OR COMPACTED SOIL.



SILT FENCE - TYPE NON-SENSITIVE (Sd1-NS)



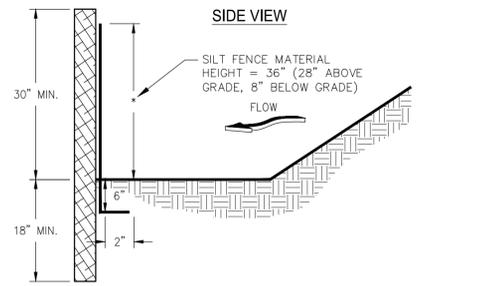
FRONT VIEW



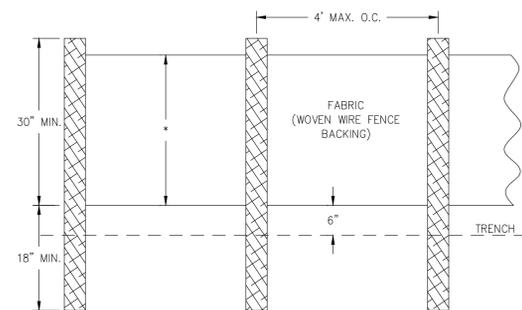
NOTES:

- USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
- HEIGHT (*) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

SILT FENCE - TYPE SENSITIVE (Sd1-S)



FRONT VIEW

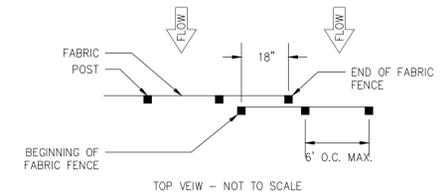


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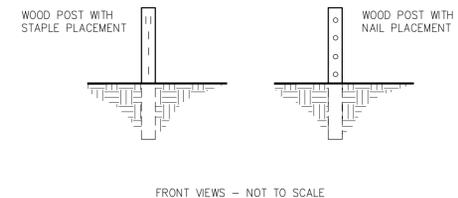
- USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
- HEIGHT (*) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

FASTENERS FOR SILT FENCES

OVERLAP AT FABRIC ENDS



FRONT VIEWS - NOT TO SCALE



NOTES:

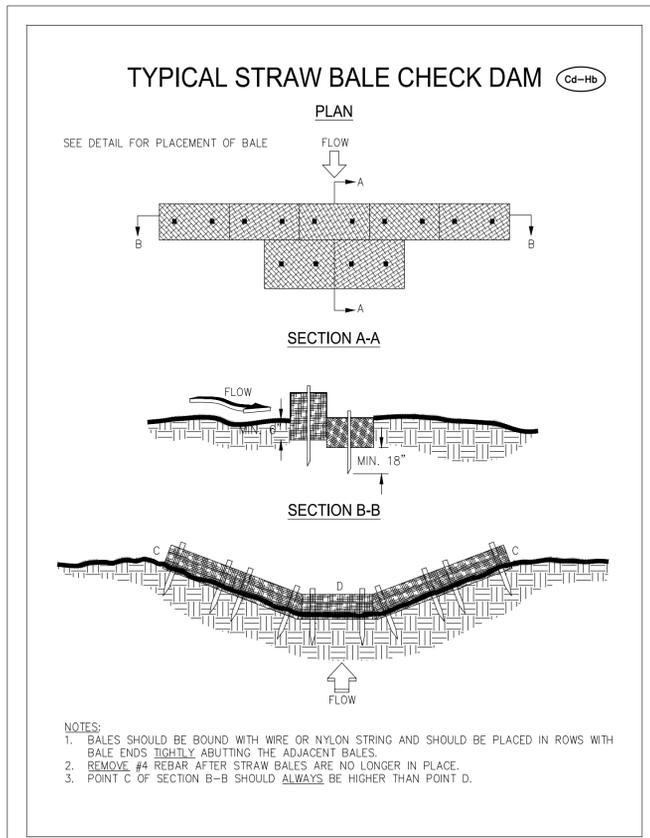
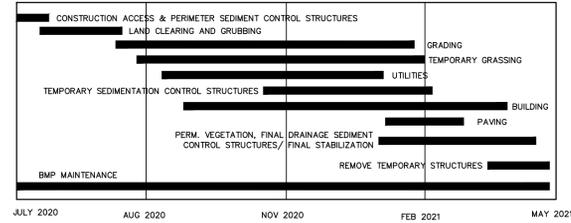
- THE FABRIC AND WIRE SHOULD BE SECURELY FASTENED TO POSTS AND FABRIC ENDS MUST BE OVERLAPPED A MINIMUM OF 18" OR WRAPPED TOGETHER AROUND A POST TO PROVIDE A CONTINUOUS FABRIC BARRIER AROUND THE INLET.

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PROPOSED CONSTRUCTION SCHEDULE:



GEORGIA UNIFORM CODING SYSTEM

FOR SOIL EROSION AND SEDIMENT CONTROL PRACTICES

GEORGIA SOIL AND WATER CONSERVATION COMMISSION

STRUCTURAL PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Cd	CHECKDAM			A small temporary barrier or dam constructed across a swale, drainage ditch or area of concentrated flow.
Ch	CHANNEL STABILIZATION			Improving, constructing or stabilizing an open channel, existing stream, or ditch.
Co	CONSTRUCTION EXIT			A crushed stone pad located at the construction site exit to provide a place for removing mud from tires thereby protecting public streets.
Cr	CONSTRUCTION ROAD STABILIZATION			A travelway constructed as part of a construction plan including access roads, subdivision roads, parking areas and other on-site vehicle transportation routes.
Dc	STREAM DIVERSION CHANNEL			A temporary channel constructed to convey flow around a construction site while a permanent structure is being constructed.
Di	DIVERSION			An earth channel or dike located above, below or across a slope to divert runoff. This may be a temporary or permanent structure.
Dn1	TEMPORARY DOWNDRAIN STRUCTURE			A flexible conduit of heavy-duty fabric or other material designed to safely conduct surface runoff down a slope. This is temporary, and inexpensive.
Dn2	PERMANENT DOWNDRAIN STRUCTURE			A paved chute, pipe, sectional conduit or similar material designed to safely conduct surface runoff down a slope.
Fr	FILTER RING			A temporary stone barrier constructed at storm drain inlets and pond outlets.
Ga	GABION			Rock filter baskets which are hand-placed into position forming soil stabilizing structures.
Gr	GRADE STABILIZATION STRUCTURE			Permanent structures installed to protect channels or waterways where otherwise the slope would be sufficient for the running water to form gullies.
Lv	LEVEL SPREADER			A structure to convert concentrated flow of water into less erosive sheet flow. This should be constructed only on undisturbed soils.
Rd	ROCK FILTER DAM			A permanent or temporary stone filter dam installed across small streams or drainage ways.
Re	RETAINING WALL			A wall installed to stabilize cut and fill slopes where maximum permissible slopes are not obtainable. Each situation will require special design.
Rt	RETRO FITTING			A device or structure placed in front of a permanent stormwater detention pond outlet structure to serve as a temporary sediment filter.
Sd1	SEDIMENT BARRIER			A barrier to prevent sediment from leaving the construction site. It may be sandbags, bales of straw or hay, brush, logs and poles, gravel, or a silt fence.
Sd2	INLET SEDIMENT TRAP			An impounding area created by excavating around a storm drain drop inlet. The excavated area will be filled and stabilized on completion of construction activities.
Sd3	TEMPORARY SEDIMENT BASIN			A basin created by excavation or a dam across a waterway. The surface water runoff is temporarily stored allowing the bulk of the sediment to drop out.
Sd4	TEMPORARY SEDIMENT TRAP			A small temporary pond that drains a disturbed area so that sediment can settle out. The principle feature distinguishing a temporary sediment trap from a temporary sediment basin is the lack of a pipe or riser.
Sk	FLOATING SURFACE SKIMMER			A buoyant device that releases/drains water from the surface of sediment ponds, traps, or basins at a controlled rate of flow.
Spb	SEEP BERM			Linear control device constructed as a diversion perpendicular to the direction of runoff to enhance dissipation and infiltration, while creating multiple sedimentation chambers with the employment of intermediate dikes.

STRUCTURAL PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Sr	TEMPORARY STREAM CROSSING			A temporary bridge or culvert-type structure protecting a stream or watercourse from damage by crossing construction equipment.
St	STORMDRAIN OUTLET PROTECTION			A paved or short section of riprap channel at the outlet of a storm drain system preventing erosion from the concentrated runoff.
Su	SURFACE ROUGHENING			A rough soil surface with horizontal depressions on a contour or slopes left in a roughened condition after grading.
Tc	TURBIDITY CURTAIN			A floating or staked barrier installed within the water (it may also be referred to as a floating boom, silt barrier, or silt curtain).
Tp	TOPSOILING			The practice of stripping off the more fertile soil, storing it, then spreading it over the disturbed area after completion of construction activities.
Tr	TREE PROTECTION			To protect desirable trees from injury during construction activity.
Wt	VEGETATED WATERWAY OR STORMWATER CONVEYANCE CHANNEL			Paved or vegetative water outlets for diversions, terraces, berms, dikes or similar structures.

VEGETATIVE PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Bf	BUFFER ZONE			Strip of undisturbed original vegetation, enhanced or restored existing vegetation or the reestablishment of vegetation surrounding an area of disturbance or bordering streams.
Cs	COASTAL DUNE STABILIZATION (WITH VEGETATION)			Planting vegetation on dunes that are denuded artificially constructed, or re-nourished.
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)			Establishing temporary protection for disturbed areas where seedlings may not have a suitable growing season to produce an erosion retarding cover.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMP SEEDING)			Establishing a temporary vegetative cover with fast growing seedlings on disturbed areas.
Ds3	DISTURBED AREA STABILIZATION (WITH PERM SEEDING)			Establishing a permanent vegetative cover such as trees, shrubs, vines, grasses, or legumes on disturbed areas.
Ds4	DISTURBED AREA STABILIZATION (SOODING)			A permanent vegetative cover using sods on highly erodible or critically eroding lands.
Du	DUST CONTROL ON DISTURBED AREAS			Controlling surface and air movement of dust on construction site, roadways and similar sites.
Fl-Co	FLOCCULANTS AND COAGULANTS			Substance formulated to assist in the solids/liquid separation of suspended particles in solution.
Sb	STREAMBANK STABILIZATION (USING PERM VEGETATION)			The use of readily available native plant materials to maintain and enhance streambanks, or to prevent, or restore and repair small streambank erosion problems.
Ss	SLOPE STABILIZATION			A protective covering used to prevent erosion and establish temporary or permanent vegetation on steep slopes, shore lines, or channels.
Tac	TACKIFIERS AND BINDERS			Substance used to anchor straw or hay mulch by causing the organic material to bind together.

GoSWCC (Amended - 2013)



REV.	REVISIONS	BY	DATE



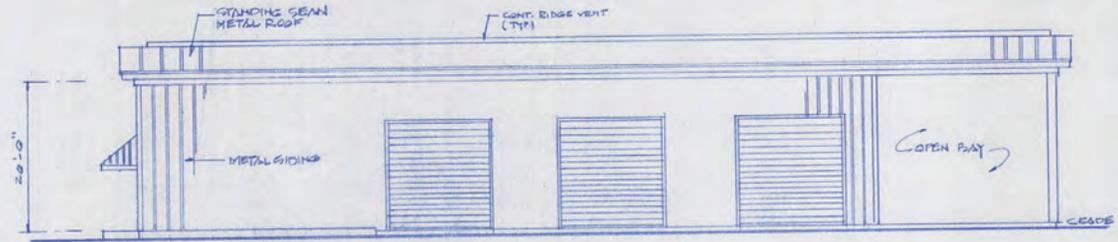
Pittman Engineering Co., LLC
 2591 Hwy 17S Suite 303
 Richmond Hill, GA 31324
 912-445-0578
 www.PittmanEngineeringCo.com

EROSION CONTROL DETAILS
LOT 11 COASTAL HWY BUSINESS PARK
 BRYAN COUNTY, GEORGIA
 Prepared For
17 VENTURES, LLC

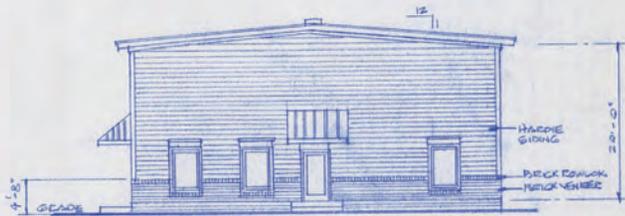
Project No. 19-
 Drawn By: JJB
 Designed By: JJB
 Checked By: RAP
 Scale: 1"=20'
 Date: 5/12/20

SHEET
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Exhibit A-3

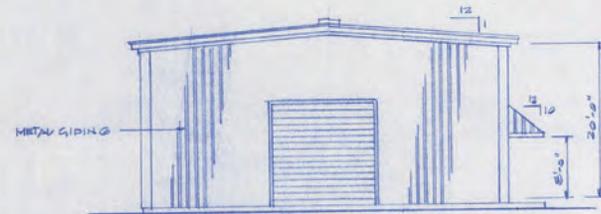


RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

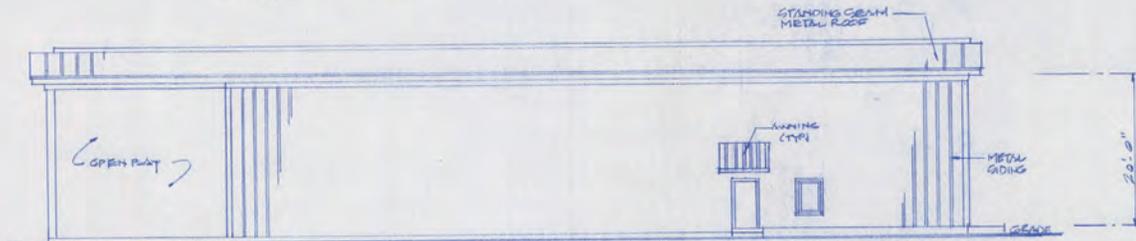


FRONT ELEVATION
SCALE: 1/8" = 1'-0"

THIS MAIN FACADE WILL BE VISIBLE FROM THE PUBLIC RIGHT OF WAY.



REAR ELEVATION
SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

REVISIONS	BY
2/24/20	JTD
3/12/20	JTD
7/14/20	JTD

richmond hill
design center,
inc.

PLANNING
ARCHITECTURE
INTERIORS

THE MULBERRY COMPANY
BRYAN COUNTY, GA

richmond hill design center, inc.
P. O. BOX 0622, RICHMOND, GEORGIA 31324-0622
912-727-2140



DRAWN	JTD
CHECKED	JTD
DATE	MAR 2020
SCALE	AS SHOWN
JOB NO.	20-2024
SHEET	4

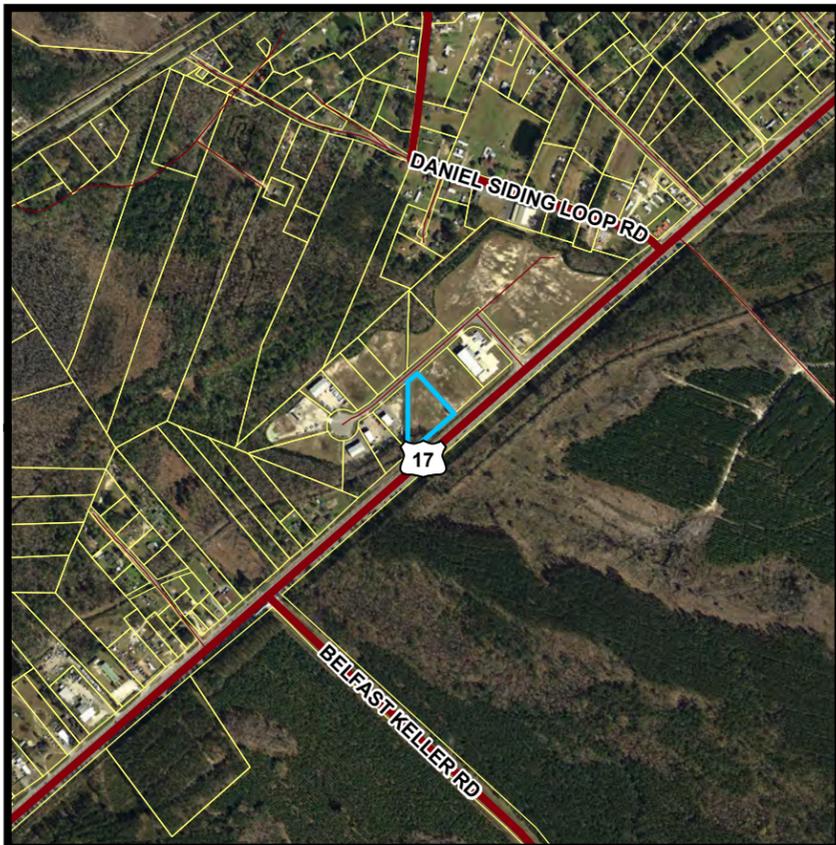
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“B” Exhibits – Agency Comments

No Comments Provided

“C” Exhibits – Bryan County Supplements

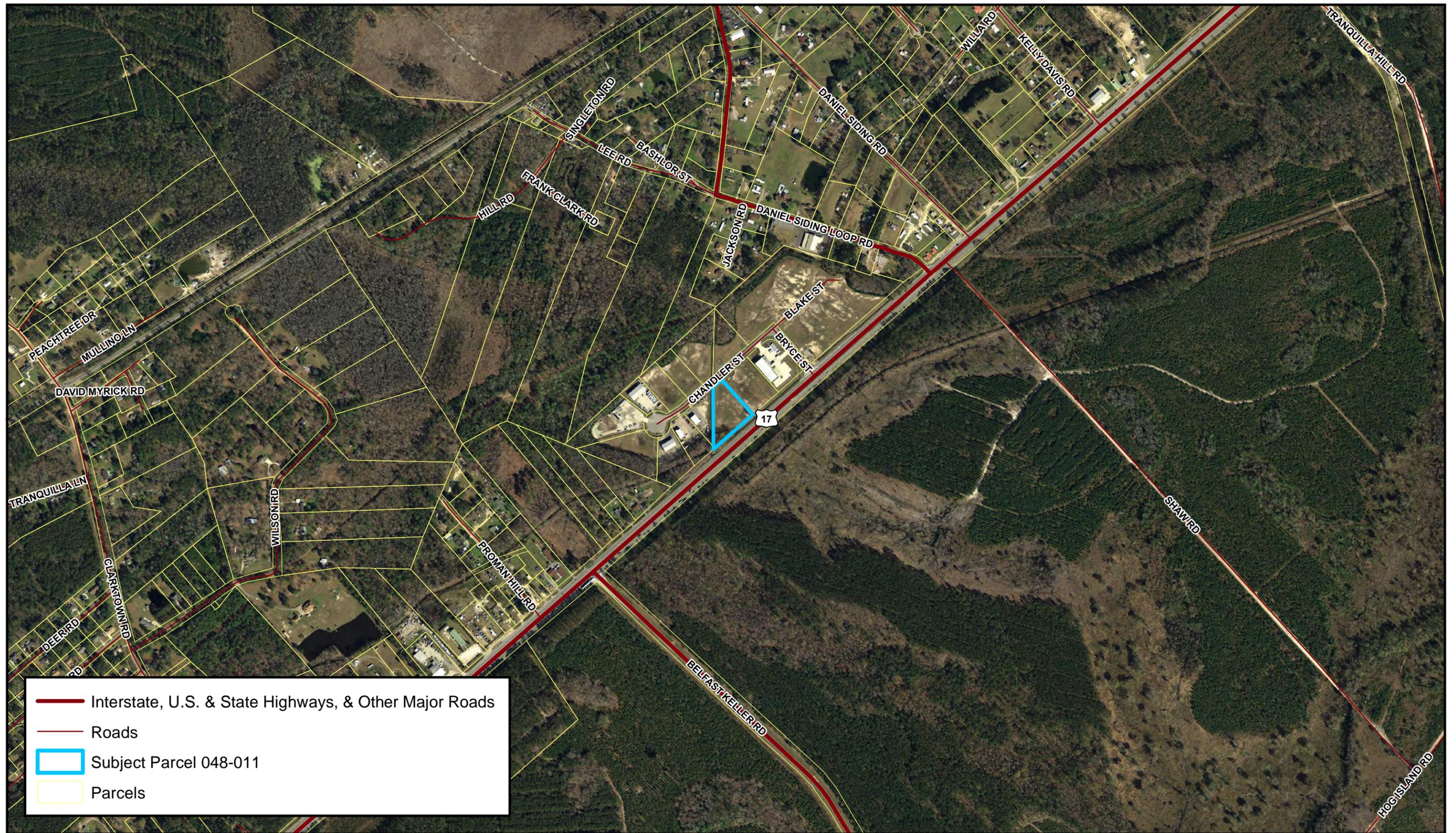
Exhibit C-1



- Interstate, U.S. & State Highways, & Other Major Roads
- Roads
- Subject Parcel 048-011
- Parcels

Overview Map
17 Ventures, LLC
Case SP# 12-20





- Interstate, U.S. & State Highways, & Other Major Roads
- Roads
- Subject Parcel 048-011
- Parcels



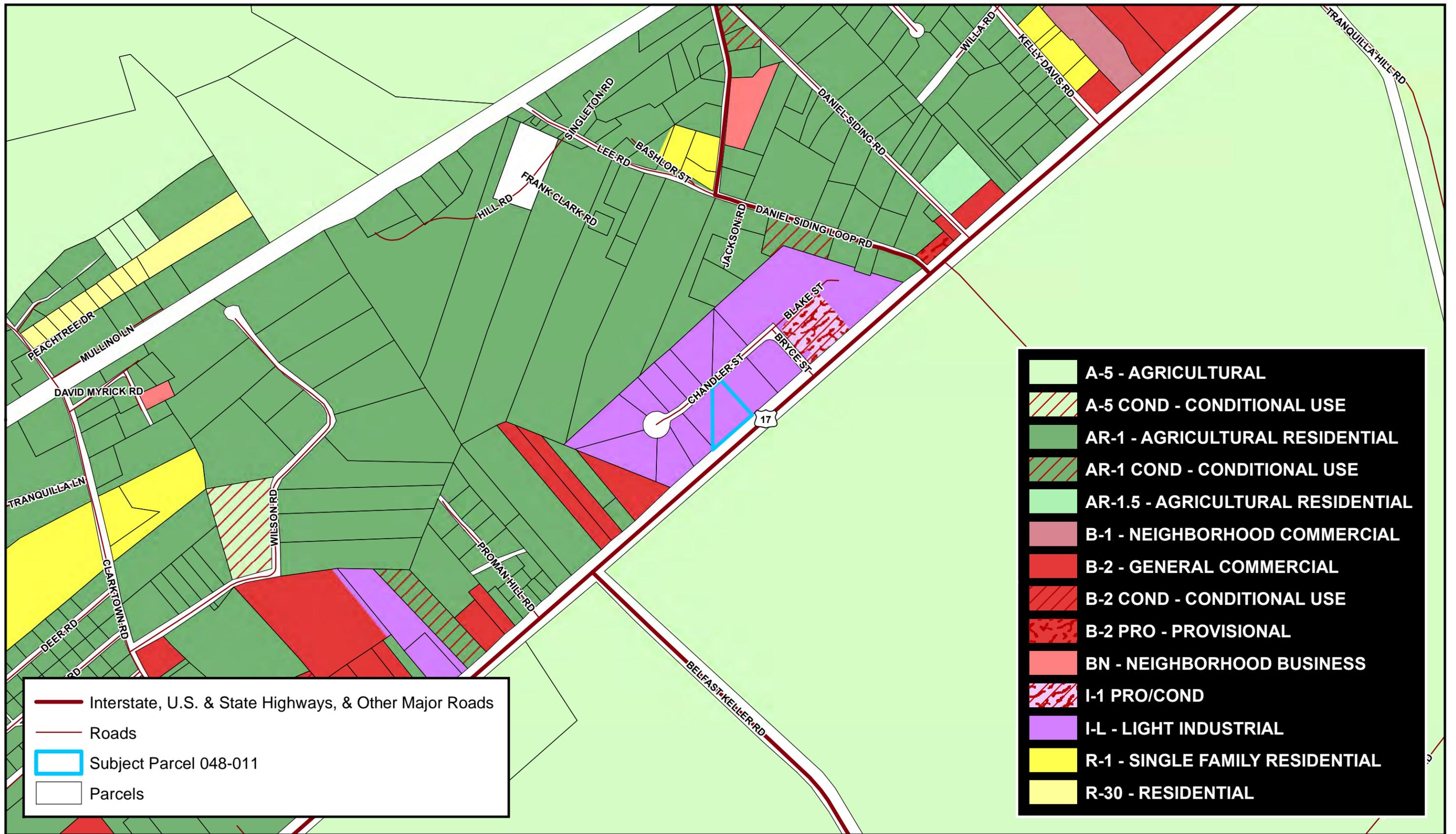
Produced by Bryan County GIS
August 2020



**Location Map
17 Ventures, LLC
Case SP# 12-20**

Exhibit C-2

DISCLAIMER
Information represented in this compilation from numerous digital GIS resources is solely for planning and illustration purposes. It is not suitable for site specific decision making. The accuracy of this product is dependent upon the source data and therefore the accuracy cannot be guaranteed. The areas depicted in this GIS Map Product are approximate, and is not necessarily accurate to surveying or engineering standards. Bryan County, City of Richmond Hill, or City of Pembroke assumes no responsibility or liability for the information contained therein or if information is used for other than its intended purpose. Reproduction, dissemination, altering this data is not authorized without prior consent. Bryan County, City of Richmond Hill, or City of Pembroke assumes no responsibility or liability for modified data.



**Zoning Map
17 Ventures, LLC
Case SP# 12-20**

Exhibit C-3

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**Bryan County
 Non-Residential Design Guidelines
 Interim Development Ordinance
 Staff Report**

Exhibit C-4

Application Information

Address:
Applicant:
Project:
Parcel:
Description:

Design Guidelines

Building Placement (302.6.d.i.1-5) Note:	Met	Not Met	Lacks Information	Not Applicable
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Village Design (302.6.d.ii) Note:	Met	Not Met	Lacks Information	Not Applicable
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Neighborhood Connections (302.6.d.iii) Note:	Met	Not Met	Lacks Information	Not Applicable
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Natural Features (302.6.d.iv) Note:	Met	Not Met	Lacks Information	Not Applicable
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Pedestrian Access (302.6.d.v.1-3) Note:	Met	Not Met	Lacks Information	Not Applicable
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Use Conflict (302.6.d.vi.1-3) Note:	Met	Not Met	Lacks Information	Not Applicable
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Neighborhood Access (302.6.e.i.1-4) Note:	Met	Not Met	Lacks Information	Not Applicable
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Avoid Conflict (302.6.e.ii.) Note:	Met	Not Met	Lacks Information	Not Applicable
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Throat Depth (302.6.e.iii) Note:	Met	Not Met	Lacks Information	Not Applicable
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Pedestrian Path (302.6.e.iv) Note:	Met	Not Met	Lacks Information	Not Applicable
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Special Paving (302.6.e.v.1-7) Note:	Met	Not Met	Lacks Information	Not Applicable
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Pedestrian Features (302.6.e.vi.1-3) Note:	Met	Not Met	Lacks Information	Not Applicable
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Shared Access Drives (302.6.e.vii) Note:	Met	Not Met	Lacks Information	Not Applicable
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Bike Racks (302.6.e.viii) Note:	Met	Not Met	Lacks Information	Not Applicable
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Surface Parking (302.6.f.i) Note:	Met	Not Met	Lacks Information	Not Applicable
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Small Parking Areas (302.6.f.ii) Note:	Met	Not Met	Lacks Information	Not Applicable
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Parking Location (302.6.f.iii) Note:	Met	Not Met	Lacks Information	Not Applicable
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Parking Connection (302.6.f.iv) Note:	Met	Not Met	Lacks Information	Not Applicable
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Landscape Corridor (302.6.g.i) Note:	Met	Not Met	Lacks Information	Not Applicable
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Street Trees (302.6.g.ii) Note:	Met	Not Met	Lacks Information	Not Applicable
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Accent Trees (302.6.g.iii) Note:	Met	Not Met	Lacks Information	Not Applicable
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Tree Type (302.6.g.iv) Note:	Met	Not Met	Lacks Information	Not Applicable
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General Landscape (302.6.g.v) Note:	Met	Not Met	Lacks Information	Not Applicable
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Tree Spacing (302.6.h.i) Note:	Met	Not Met	Lacks Information	Not Applicable
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Parking Coverage (302.6.h.ii) Note:	Met	Not Met	Lacks Information	Not Applicable
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Screening (302.6.i) Note:	Met	Not Met	Lacks Information	Not Applicable
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Project Entry (302.6.j) Note:	Met	Not Met	Lacks Information	Not Applicable
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Building Front (302.6.k) Note:	Met	Not Met	Lacks Information	Not Applicable
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Service Area (302.6.l) Note:	Met	Not Met	Lacks Information	Not Applicable
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Outdoor Displays (302.6.m) Note:	Met	Not Met	Lacks Information	Not Applicable
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Trash/Recycling (302.6.n) Note:	Met	Not Met	Lacks Information	Not Applicable
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Lighting (302.6.o) Note:	Met	Not Met	Lacks Information	Not Applicable
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Building Design (302.6.p.i-vi) Note:	Met	Not Met	Lacks Information	Not Applicable
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Mass, Scale, and Form (302.6.q.i-vii) Note:	Met	Not Met	Lacks Information	Not Applicable
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Mass, Scale, and Form (302.6.viii.1-3) Note:	Met	Not Met	Lacks Information	Not Applicable
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Materials/Finishes (302.6.r) Note:	Met	Not Met	Lacks Information	Not Applicable
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Rooflines (302.6.s) Note:	Met	Not Met	Lacks Information	Not Applicable
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Entries
(302.6.t)
Note:

Met

Not Met

Lacks Information

Not Applicable

Windows/Openings
(302.6.u)
Note:

Met

Not Met

Lacks Information

Not Applicable

“D” Exhibits – Public Comment

No Comments Submitted

BRYAN COUNTY BOARD OF COUNTY COMMISSIONERS

CASE SP#13-20

Meeting Date: September 1, 2020

<p>REGARDING THE APPLICATION OF: Jason Bryant representing Cove 2 Coast Marine, requesting design guideline modifications and waivers for property located at 26 and 64 Blake Street, Lots 17 and 18, identified by PIN# 048-01-017-001 and 048-01-018-001 in unincorporated Bryan County, Georgia. The applicant is requesting modifications and waivers to the Building and Site Design Guidelines.</p>	<p>Staff Report By: Sara Farr-Newman Dated: August 25, 2020</p>
---	---

I. Application Summary

Requested Action: Modifications and waivers to the Building and Site Design Guidelines at 26 and 64 Blake Street, PIN# 048-01-017-001 and 048-01-018-001 for the requirements for pedestrian paths, bike racks, sidewalks, and landscaping. The Planning and Zoning Board renders the final decision.

Representative: Jason Bryant
Pittman Engineering Co., LLC
P.O. Box 822
Richmond Hill, GA 31324

Applicant/Owner: Cove 2 Coast
26 and 64 Blake Street
Richmond Hill, GA 31324

Applicable Regulations:

- Bryan County Zoning Ordinance, Appendix B – Zoning, Article III – Administration, Section 302.1 Design Objectives and Sections:
 - Section 302.6.e.iii – Textured/Colored Pavement
 - Section 302.6.e.iv – Pedestrian Walkways
 - Section 302.6.e.viii – Bike Racks
 - Section 302.6.f.iv – Pedestrian Parking Paths
 - Section 302.6.g.i – Landscape Corridors

II. General Information

1. Application: A request for the design modifications and waivers was received via email on August 5, 2020.

2. Notice: Public notice was not required.

3. Background: The subject site, 26 and 64 Blake Street, is located in the Coastal Business Park located off of Highway 17. The lots were rezoned I-1 on June 9, 2020 in order to permit a boat dealership. The applicant is constructing the boat dealership and storage facility on the adjacent lots. This includes parking as well as an office building with bays and display areas for the boats. The applicant is requesting several design modifications and waivers in order to accommodate a site more functional to the dealership use and compatible with the industrial nature of the business park. The requests are detailed below.

4. Requested Modifications and Waivers:

Waivers

- a. Per Section 302.6.e.iv - *Pursuant to requirements of the Americans with Disabilities Act (ADA), all non-residential developments shall be designed with a minimum of one designated pedestrian path from each abutting street to the primary entrance(s) of the development. The county encourages the design of large non-residential projects with multiple points of pedestrian access. Such access shall be distinct from the vehicle access and visibly delineated. Appropriate locations for pedestrian access points include signalized intersections, other designated pedestrian crossings (e.g., crosswalk, pedestrian bridge), and transit stops. Internal pedestrian walkways shall be distinguished from driving surfaces through the use of raised sidewalks, special pavers, bricks, and/or scored/stamped concrete/ asphalt and shall comply with ADA requirements.* The applicant is requesting to waive this requirement by not providing pedestrian paths.
- b. Per section 302.6.e.viii - *Bicycle racks shall be provided and located in a highly visible location, near the primary entrance(s) to the development and shall not obstruct the designated pedestrian walkways.* The applicant is requesting to waive this requirement.
- c. Per section 302.6.f.iv - *Parking lots should have a direct pedestrian connection to the building entry points, especially if the parking is located along the side and/or behind the buildings. Designated pedestrian access shall be provided from all public parking fields to the primary building entrances.* The applicant is requesting to waive this requirement.

Modifications

- d. Per Section 302.6.e.iii - *Access drives for all non-residential developments with more than 25 parking spaces shall have a minimum driveway throat depth of 25 feet (colored and textured pavement), measured from public right-of-way along adjacent roadway. The county may increase this minimum throat depth on a case-by-case basis considering use and scale, as well as the vehicle*

trip generation and distribution of the proposed project. The applicant is requesting a modification to provide colored/textured paving at only one of the three proposed access drives.

- e. Per section 302.6.g.i - *Minimum width of landscape corridors along arterial and collector roads shall be 25 feet. The county may allow reductions in the corridor width to ensure continuity with an existing approved corridor. The landscape corridor shall include a minimum four- to six-foot-wide sidewalk separated from the back of curb by no less than six feet or the edge of the shoulder by at least ten feet.* The applicant is requesting to modify this requirement by not providing a sidewalk.

5. Exhibits: The following Exhibits are attached hereto as referenced. All application documents were received at the Bryan County Community Development office on August 5, 2020 unless otherwise noted.

“A” Exhibits- Application:

- A-1 Request for Design Guideline Modification
- A-2 Site Plan Set (07-27-2020)

“B” Exhibits- Agency Comments:

None Provided

“C” Exhibits- Bryan County Supplements

- C-1 Overview Map
- C-2 Location Map
- C-3 Zoning Map
- C-4 Site and Building Design Review Checklist

“D” Exhibits- Public Comment:

None presented

III. Analysis Under Article III – Administration, Section 302.1 – Design Objectives:

The planning and zoning commission may approve a waiver or modification to the Site and Building Design Standards upon finding that the design meets each of the design objectives below:

1. Achieving building and site design that is compatible with its setting while avoiding monotonous uniformity.

Staff findings: Each request is addressed individually below:

A and C: The lot is located within an industrial park that is unlikely to have pedestrian traffic accessing the property. The entrance to the building is also easily accessible from the parking area without designated paths due to the location and small amount of parking. The other developed sites do not incorporate pedestrian paths, and not providing these is compatible with the industrial setting.

B: The location of the lot within an industrial setting indicates bike traffic is unlikely, so not providing a bike rack is compatible with the setting.

D: The applicant is requesting to install textured colored pavement at only the entrance on Lot 17. The pavement is proposed to be the Cove 2 Coast Logo instead of the 25 foot textured and colored pavement. The applicant indicated this will help guide customers to the main entrance. This design would be consistent with the setting, which includes limited textured entrances due to the nature of the business as well as the number of parking spots being limited in addition to changing design requirements. Additionally, guiding customers would be desirable to avoid traffic confusion.

E: The applicant's request to not install a sidewalk in the corridor along Highway 17 is compatible with the setting. The other lots located along Highway 17 do not include sidewalks, so installing one on the subject lot would not create a usable path.

2. Protecting property values and enhancing the value of public and private investments through well-planned and well-maintained development.

Staff findings: The requested waivers and modifications permit a development that is compatible with the industrial environment already existing for the park, while maintaining the intent of the design guidelines.

3. Promoting creative designs that surpass the quality of the minimum design guidelines established herein.

Staff findings: Permitting the requested waivers and modifications will permit a compatible industrial development without requiring elements that would not be useful or add to the design of the site and building.

4. Fostering safe, healthy and sustainable development that becomes increasingly valued in Bryan County as each year passes.

Staff findings: The requested waivers and modifications will create a lasting development for future businesses in the park. The landscaping and other design elements being installed will create a development that is compatible with the objectives of Bryan County, as well.

5. Ensuring that scale, massing, and building details are in proportion to and complementary with the surrounding neighborhood.

Staff findings: No waivers or modifications are being requested that will impact building design.

6. Emphasizing entries for people and deemphasizing the mass of garages.

Staff findings: This standard is not applicable.

7. Requiring materials that are durable in Bryan County's environment.

Staff findings: No waivers or modifications are requested that would impact materials.

8. Promoting walking and biking within and between developments.

Staff findings: While this goal is generally desirable, the location of the lot within an industrial park is not appropriate to encourage pedestrian and bike traffic that would conflict with the heavy traffic necessary for industrial uses. Waivers to the pedestrian path, sidewalk, and bike rack requirements are appropriate for the location and use of this lot.

9. Fostering site development that reflects and reinforces the natural beauty of Bryan County.

Staff findings: The waivers and modifications requested will not impact the landscaping requirements and will result in a site that meets these standards and provides a landscape corridor along Highway 17.

IV. Staff Recommendation

Staff recommends approval of the requested waivers and modifications.

V. Planning and Zoning Commission Decision

Recommendation: The Commission may approve the modifications as requested, approve the modifications requested subject to conditions, or deny the requested modifications.

Motion Regarding Approval of Modifying Design Guidelines: Having considered the evidence in the record, upon motion by Commissioner _____, second by Commissioner _____, and by vote of __ to __, the Commission hereby approves as proposed/approves with conditions/denies the requested modifications.

“A” Exhibits – Application

Pittman Engineering Co., LLC

Post Office Box 822
Richmond Hill, Georgia 31324
912-445-0578

Exhibit A-1

August 5, 2020

Amanda Clement
Planning Manager
Bryan County Planning & Zoning
66 Captain Matthew Freeman Drive Suite 201
Richmond Hill, GA 31324

Re: Cove 2 Coast Marine
IDO Design Waivers and Modifications

Dear Amanda:

On behalf of our client, Cove 2 Coast Marine, we hereby request waivers and modifications to the following IDO Standards.

1. Standard 302.6.e.iii requiring a 25 foot throat depth of textured/colored pavement modification).

Request a modification allowing installation of a colored and textured Cove 2 Coast logo instead of the 25' throat depth requirement. The logo would be installed at the main customer driveway entrance on Lot 17 only; the driveways on Lot 18 would not have any coloring or texturing. The logo placement intends to help guide customers to the main entrance.

2. Standard 302.6.e.iv and 302.6.f.iv requiring pedestrian paths (waivers).

Request a waiver from the pedestrian path requirement. There are not any sidewalks to connect or pedestrian activities within the industrial park.

3. Standard 302.6.e.viii requiring a bike rack (waiver).

Request a waiver from the bike rack requirement. Bicycle traffic is not anticipated within the industrial park and Cove 2 Coast Marine's customers typically arrive in passenger cars or trucks.

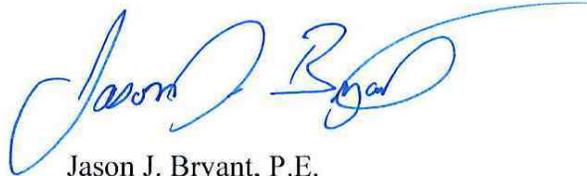
4. Standard 302.6.g.i requiring a sidewalk in the landscape corridor (modification).

Request a modification from installing a sidewalk in the landscape corridor. There are not any sidewalks within several miles of the site or pedestrian activities within the industrial park.

If you have any questions or comments, please do not hesitate to contact our office.

Sincerely,

PITTMAN ENGINEERING CO. LLC



Jason J. Bryant, P.E.

Tuesday, July 28, 2020 4:01:26 PM

S:\Projects\Cove 2 Coast Marine\Drawings\Construction Plans\Cove 2 Coast Cover.dwg

CONSTRUCTION PLANS

FOR

LOTS 17 & 18 COASTAL HWY BUSINESS PARK

BRYAN COUNTY, GEORGIA

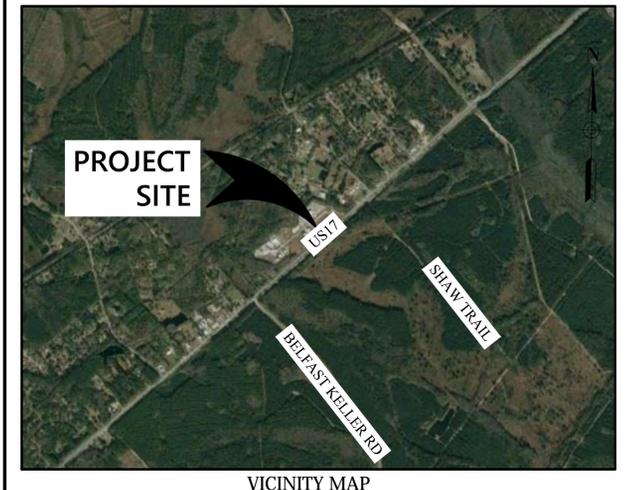
PREPARED FOR:
COVE 2 COAST MARINE

JUNE 26, 2020

JOB NUMBER: 20-204

PREPARED BY:
Pittman Engineering Co., LLC

PROJECT DATA	
DEVELOPER:	COVE 2 COAST MARINE TROY BAIRD 33 MODENA ISLAND DR SAVANNAH, GA 31411 912-313-0370
24 HOUR CONTACT:	TROY BAIRD
TELEPHONE:	912-313-0370
JURISDICTION:	BRYAN COUNTY, GEORGIA
TAX MAP #:	048 015
ZONING:	I-1, PROVISIONAL Z#227-20/CUP#168-20 APPROVED 6-9-2020
PROPERTY OWNER OF RECORD:	COVE 2 COAST MARINE
FEMA FLOOD ZONE:	X PER LOMR 13-04-1675P
FEMA FLOOD PANEL:	MAP NUMBER 13029C0286D & 0286D, MAP DATED 8-2-2018, REVISED EFFECTIVE 12-23-2019
APPROXIMATE LOCATION OF SITE:	BRYAN COUNTY, GEORGIA
VERTICAL DATUM:	NAVD 88
The development of the included construction plans can be expected to not increase the rate of runoff per county requirements, provided the facility is constructed as designed and properly operated and maintained.	



Sheet List Table	
Sheet Number	Sheet Title
C1.0	COVER
C1.1	GENERAL NOTES
C1.2	LAYOUT PLAN
C1.3	TREE PROTECTION PLAN
C2.1	WATER & SEWER PLAN
C3.1	SITE GRADING PLAN
C3.2	DETAILS
C3.3	DETAILS
EC1.1	EROSION CONTROL PLAN
EC5.1	EROSION CONTROL DETAILS
EC5.2	EROSION CONTROL DETAILS

REVISION LISTING			
REV. NO.	REVISION	BY	DATE
1	REVISED PER BRYAN COUNTY REVIEW COMMENTS	JJB	7/27/2020

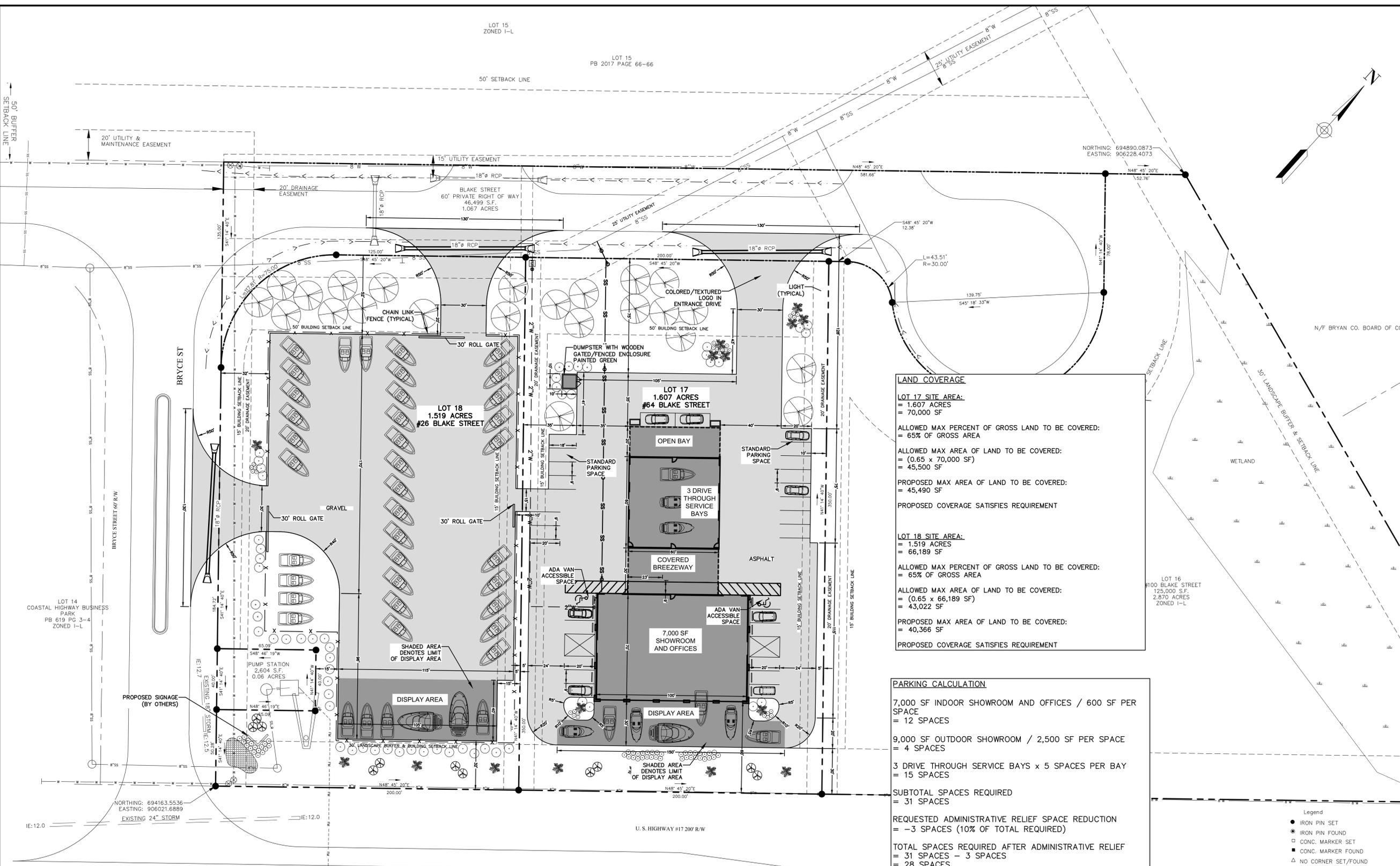


PITTMAN ENGINEERING

2591 Hwy 17S Suite 303
 Richmond Hill, GA 31324
 912-445-0578
 www.PittmanEngineeringCo.com

Tuesday, July 28, 2020 4:01:49 PM

S:\Projects\Cove 2 Coast Marine\Drawings\Construction Plans\Cove 2 Coast Layout Planning



LAND COVERAGE

LOT 17 SITE AREA:
 = 1.607 ACRES
 = 70,000 SF

ALLOWED MAX PERCENT OF GROSS LAND TO BE COVERED:
 = 65% OF GROSS AREA

ALLOWED MAX AREA OF LAND TO BE COVERED:
 = (0.65 x 70,000 SF)
 = 45,500 SF

PROPOSED MAX AREA OF LAND TO BE COVERED:
 = 45,490 SF

PROPOSED COVERAGE SATISFIES REQUIREMENT

LOT 18 SITE AREA:
 = 1.519 ACRES
 = 66,189 SF

ALLOWED MAX PERCENT OF GROSS LAND TO BE COVERED:
 = 65% OF GROSS AREA

ALLOWED MAX AREA OF LAND TO BE COVERED:
 = (0.65 x 66,189 SF)
 = 43,022 SF

PROPOSED MAX AREA OF LAND TO BE COVERED:
 = 40,366 SF

PROPOSED COVERAGE SATISFIES REQUIREMENT

PARKING CALCULATION

7,000 SF INDOOR SHOWROOM AND OFFICES / 600 SF PER SPACE
 = 12 SPACES

9,000 SF OUTDOOR SHOWROOM / 2,500 SF PER SPACE
 = 4 SPACES

3 DRIVE THROUGH SERVICE BAYS x 5 SPACES PER BAY
 = 15 SPACES

SUBTOTAL SPACES REQUIRED
 = 31 SPACES

REQUESTED ADMINISTRATIVE RELIEF SPACE REDUCTION
 = -3 SPACES (10% OF TOTAL REQUIRED)

TOTAL SPACES REQUIRED AFTER ADMINISTRATIVE RELIEF
 = 31 SPACES - 3 SPACES
 = 28 SPACES

ADA SPACES

REQUIRED
 = 2 SPACES (1 SHALL BE VAN ACCESSIBLE)

PROPOSED
 = 2 SPACES (BOTH ARE VAN ACCESSIBLE)

DEED AND PLAT REFERENCE:
 1. PB 2017 / PG 66-66
 2. PB 619 / PG 3-4

NORTHING: 694163.5536
 EASTING: 906021.6889

Legend
 ● IRON PIN SET
 ○ IRON PIN FOUND
 □ CONC. MARKER SET
 ■ CONC. MARKER FOUND
 △ NO CORNER SET/FOUND

Scale: 1"=30'
 Date: 6/26/20



REV.	REVISIONS	BY	DATE
1	REVISED PER BRYAN COUNTY COMMENTS	JJB	7/27/2020

JASON J. BRYANT, P.E.
 GSWCC LEVEL II
 DESIGN PROFESSIONAL
 CERTIFICATION #73897

Pittman Engineering Co., LLC
 2591 Hwy 175 Suite 303
 Richmond Hill, GA 31324
 912-445-0578
 www.PittmanEngineeringCo.com

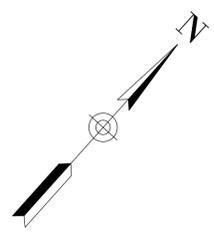
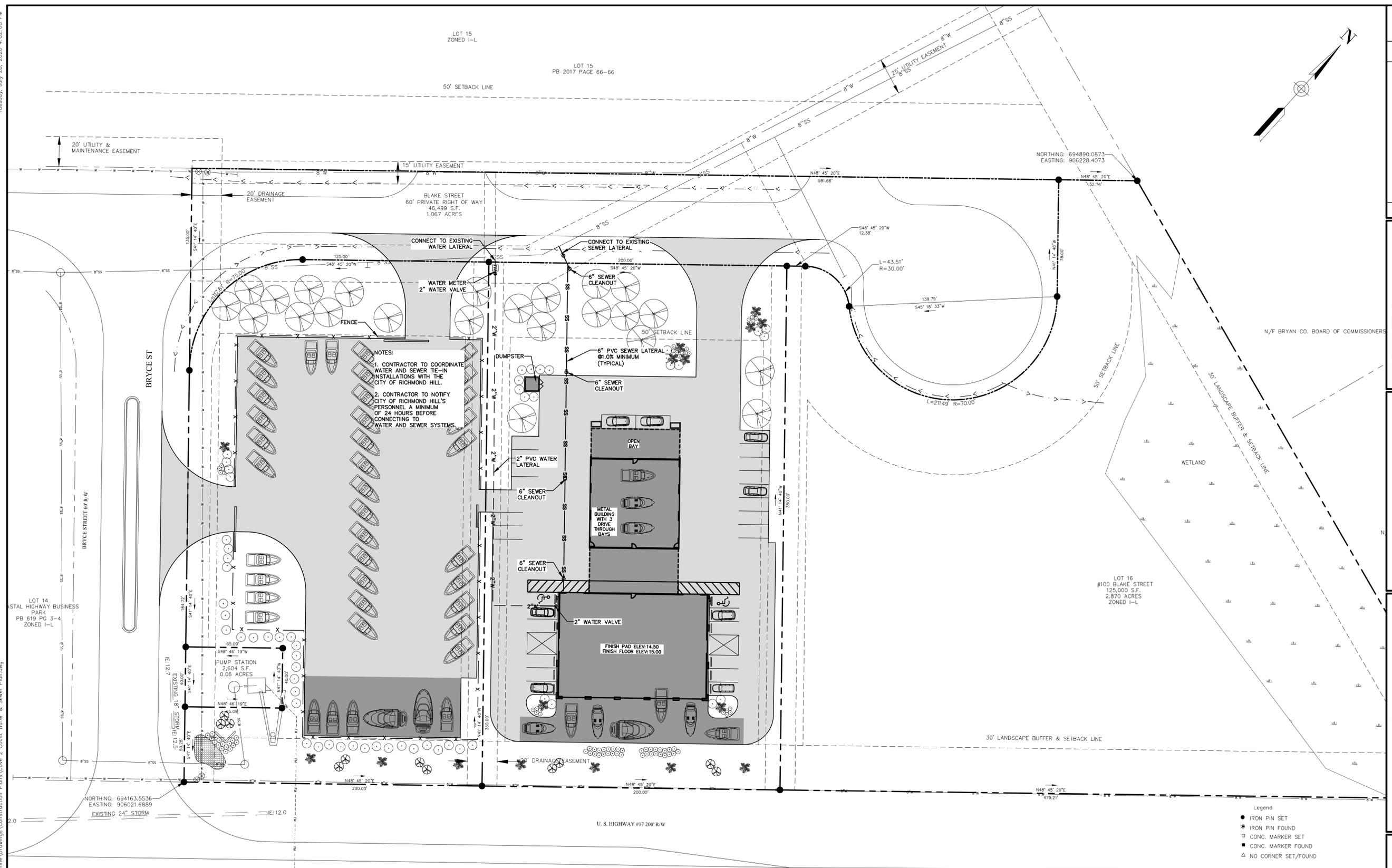
LAYOUT PLAN
LOTS 17 & 18 COASTAL HWY BUSINESS PARK
 BRYAN COUNTY, GEORGIA
 Prepared For
COVE 2 COAST MARINE

Project No. 20-204
 Drawn By: JJB
 Designed By: JJB
 Checked By: RAP
 Scale: 1"=30'
 Date: 6/26/20

SHEET
C1.2

Tuesday, July 28, 2020 4:02:08 PM

S:\Projects\Cove 2 Coast Marine\Drawings\Construction Plans\Cove 2 Coast Water & Sewer Plan.dwg



REV.	REVISIONS	BY	DATE

JASON I. BRYANT, P.E.
 GSWCC LEVEL II
 DESIGN PROFESSIONAL
 CERTIFICATION #73897

Pittman Engineering Co., LLC
 2591 Hwy 17S Suite 303
 Richmond Hill, GA 31324
 912-445-0578
 www.PittmanEngineeringCo.com

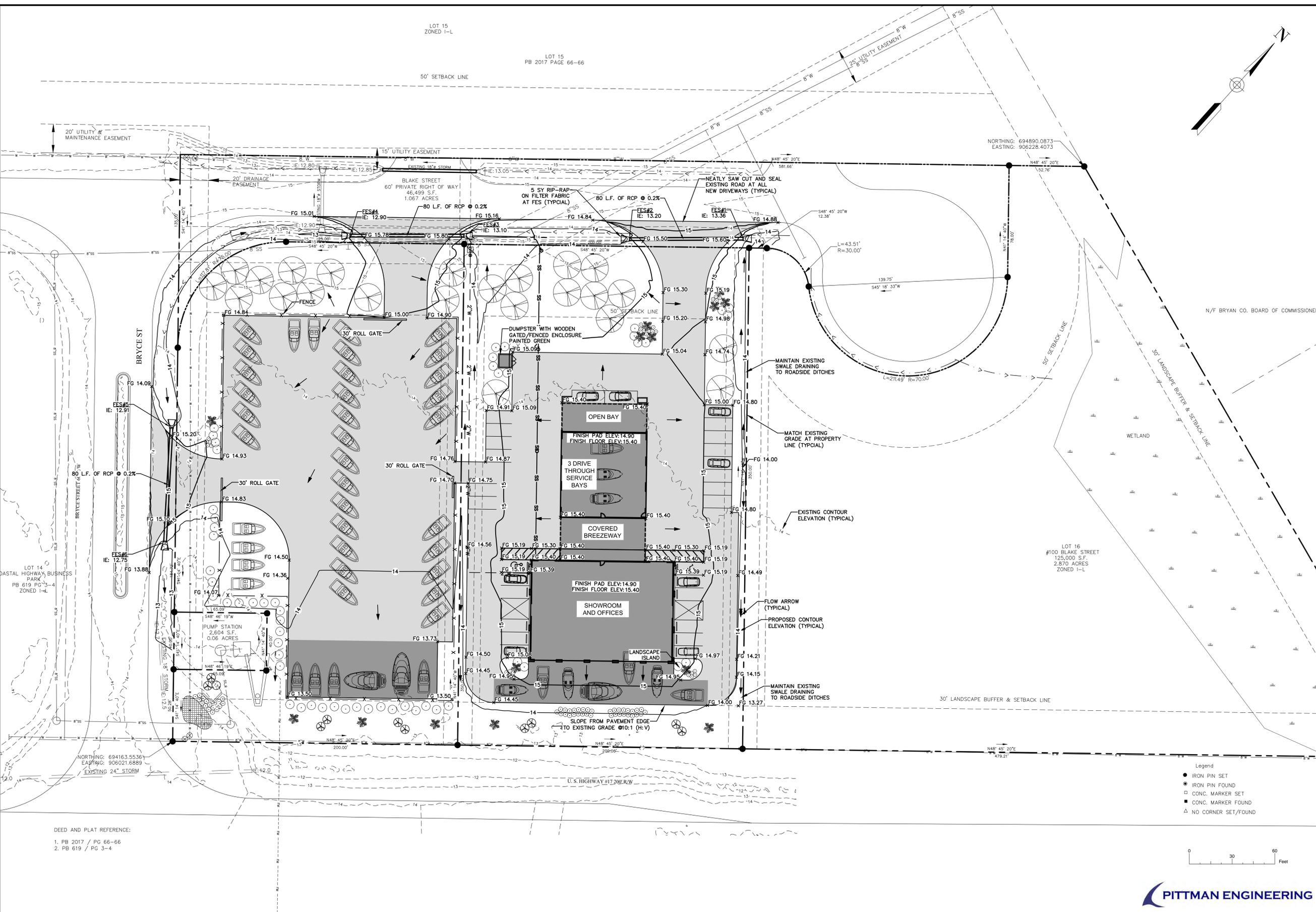
WATER & SEWER PLAN
 LOTS 17 & 18 COASTAL HWY BUSINESS PARK
 BRYAN COUNTY, GEORGIA
 Prepared For
 COVE 2 COAST MARINE

Project No. **20-204**
 Drawn By: **JJB**
 Designed By: **JJB**
 Checked By: **RAP**
 Scale: **1"=30'**
 Date: **6/26/20**

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Tuesday, July 28, 2020 4:02:19 PM



Legend

- IRON PIN SET
- IRON PIN FOUND
- CONC. MARKER SET
- CONC. MARKER FOUND
- △ NO CORNER SET/FOUND

0 30 60 Feet

DEED AND PLAT REFERENCE:

1. PB 2017 / PG 66-66
2. PB 619 / PG 3-4

NORTHING: 694163.5536
EASTING: 906021.6869

REV.	REVISIONS	BY	DATE
1	REVISED PER BRYAN COUNTY COMMENTS	JJB	7/27/2020

JASON J. BRYANT, P.E.
GSWCC LEVEL II
DESIGN PROFESSIONAL
CERTIFICATION #73897



SEAL: JASON JOSEPH, No. 38245, PROFESSIONAL ENGINEER, STATE OF GEORGIA

Pittman Engineering Co., LLC
2591 Hwy 175 Suite 303
Richmond Hill, GA 31324
912-445-0578
www.PittmanEngineeringCo.com

SITE GRADING PLAN
LOTS 17 & 18 COASTAL HWY BUSINESS PARK
BRYAN COUNTY, GEORGIA
Prepared For
COVE 2 COAST MARINE

Project No. **20-204**
Drawn By: **JJB**
Designed By: **JJB**
Checked By: **RAP**
Scale: **1"=30'**
Date: **6/26/20**

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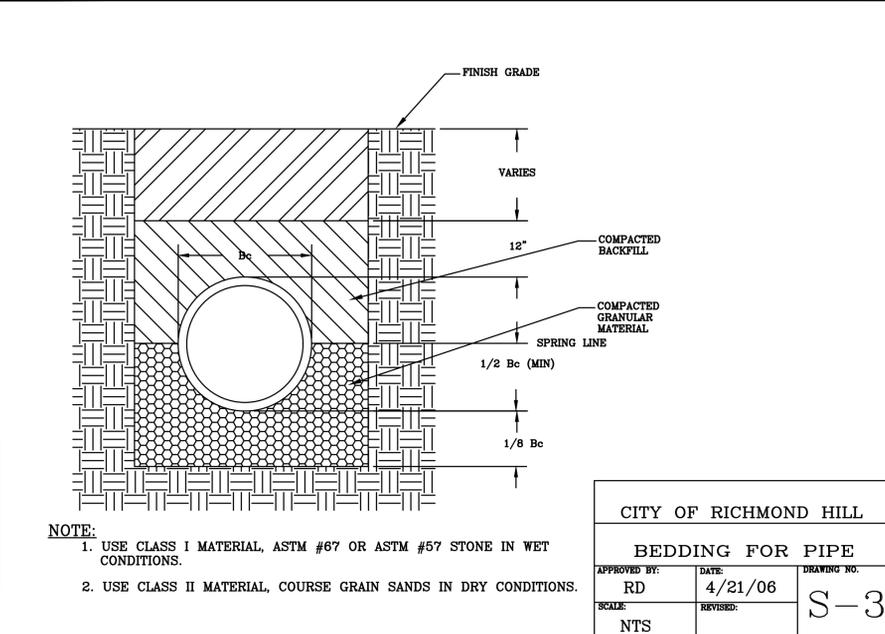
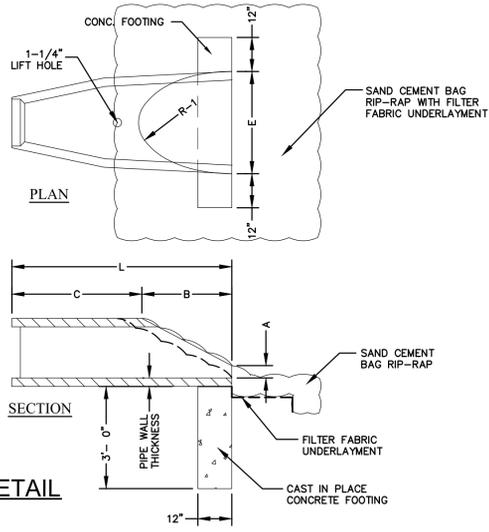
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FLARE DIMENSIONS						
PIPE DIA.	A	B	C	L	E	R-1
15"	6"	2'-3"	3'-10"	6'-1"	2'-6"	1'-0"
18"	9"	2'-3"	3'-10"	6'-1"	3'-0"	1'-4"
24"	10"	3'-8"	2'-6"	6'-2"	4'-0"	1'-5"
30"	12"	4'-6"	1'-8"	6'-2"	5'-0"	1'-6"
36"	16"	5'-3"	2'-11"	8'-2"	6'-0"	2'-0"
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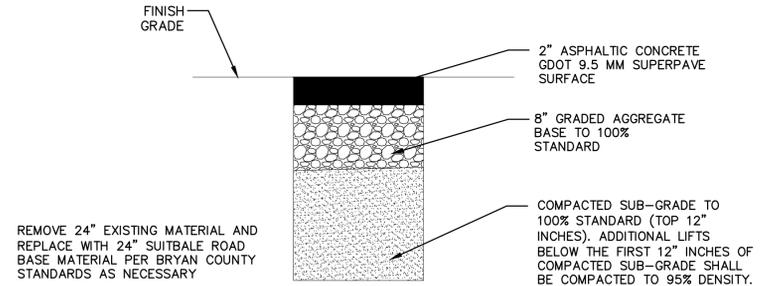
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FLARED END SECTION DETAIL
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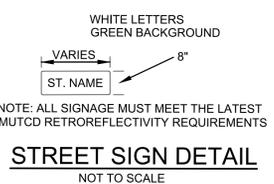
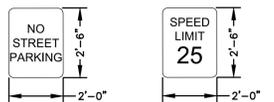


- NOTE:**
- USE CLASS I MATERIAL, ASTM #67 OR ASTM #57 STONE IN WET CONDITIONS.
 - USE CLASS II MATERIAL, COURSE GRAIN SANDS IN DRY CONDITIONS.

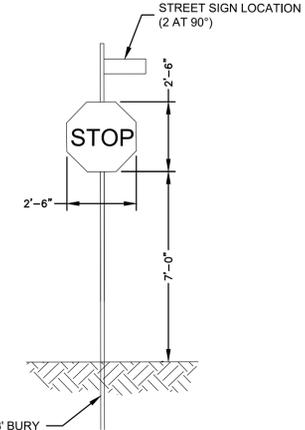
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BEDDING FOR PIPE		
APPROVED BY: RD	DATE: 4/21/06	DRAWING NO. S-3
SCALE: NTS	REVISED:	



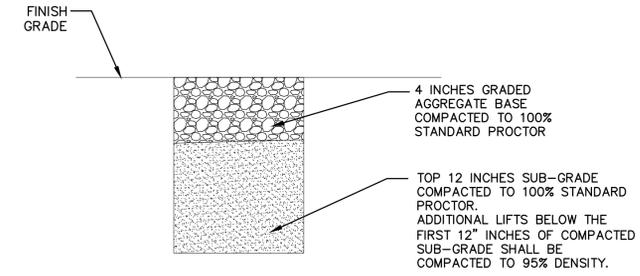
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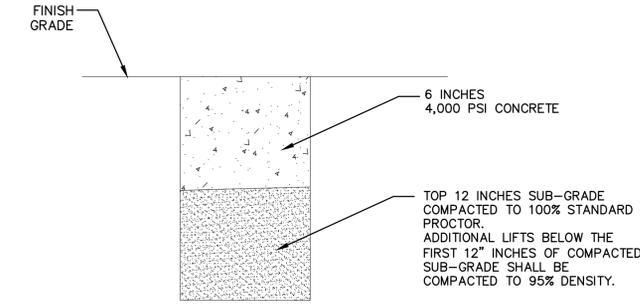
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SIGN DETAIL
NOT TO SCALE



GRAVEL SECTION
SCALE: N.T.S.



CONCRETE PAVEMENT SECTION
SCALE: N.T.S.

NO.	REVISIONS	BY	DATE

JASON J. BRYANT, P.E.
GSWCC LEVEL II
DESIGN PROFESSIONAL
CERTIFICATION #73897

Pittman Engineering Co., LLC
2591 Hwy 175 Suite 303
Richmond Hill, GA 31324
912-445-0578
www.PittmanEngineeringCo.com

DETAILS

LOTS 17 & 18 COASTAL HWY BUSINESS PARK
BRYAN COUNTY, GEORGIA
Prepared For
COVE 2 COAST MARINE

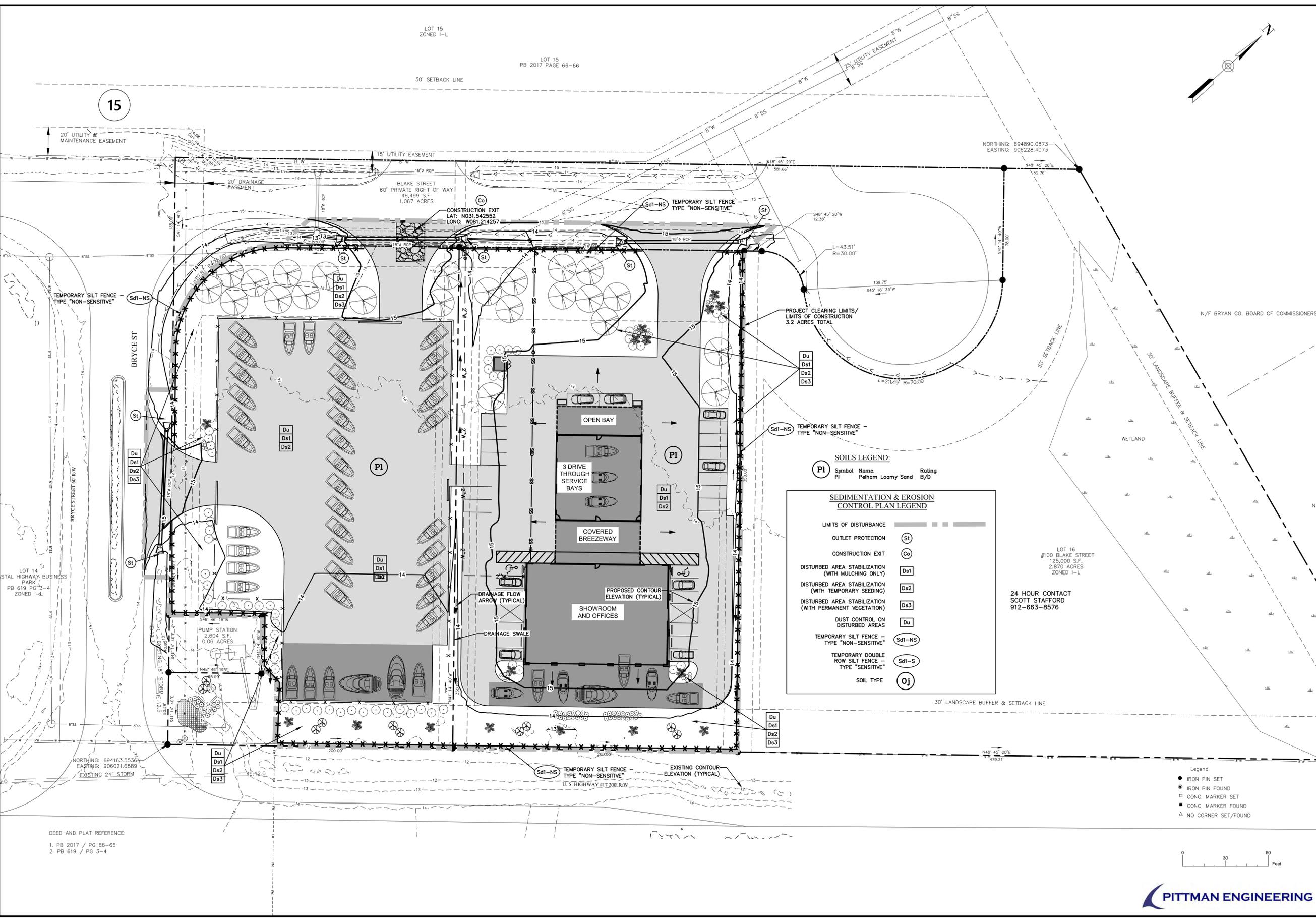
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Designed By: JJB
Checked By: RAP
Scale: 1"=30'
Date: 6/26/20

SHEET
C3.3



Tuesday, July 28, 2020 4:02:45 PM

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DEED AND PLAT REFERENCE:
 1. PB 2017 / PG 66-66
 2. PB 619 / PG 3-4

SOILS LEGEND:

Symbol	Name	Rating
PI	Pelham Loamy Sand	B/D

SEDIMENTATION & EROSION CONTROL PLAN LEGEND

LIMITS OF DISTURBANCE ———

OUTLET PROTECTION (St)

CONSTRUCTION EXIT (Co)

DISTURBED AREA STABILIZATION (WITH MULCHING ONLY) (Ds1)

DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING) (Ds2)

DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION) (Ds3)

DUST CONTROL ON DISTURBED AREAS (Du)

TEMPORARY SILT FENCE - TYPE "NON-SENSITIVE" (Sd1-NS)

TEMPORARY DOUBLE ROW SILT FENCE - TYPE "SENSITIVE" (Sd1-S)

SOIL TYPE (Oj)

- Legend
- IRON PIN SET
 - IRON PIN FOUND
 - CONC. MARKER SET
 - CONC. MARKER FOUND
 - △ NO CORNER SET/FOUND



REV.	REVISIONS	BY	DATE

JASON J. BRYANT, P.E.
 GSWCC LEVEL II
 DESIGN PROFESSIONAL
 CERTIFICATION #73897

Pittman Engineering Co., LLC
 2591 Hwy 175 Suite 303
 Richmond Hill, GA 31324
 912-445-0578
 www.PittmanEngineeringCo.com

EROSION CONTROL PLAN
LOTS 17 & 18 COASTAL HWY BUSINESS PARK
 BRYAN COUNTY, GEORGIA
 Prepared For
COVE 2 COAST MARINE

Project No. 20-204
 Drawn By: JJB
 Designed By: JJB
 Checked By: RAP
 Scale: 1"=30'
 Date: 6/26/20

SHEET
EC1.1



Tuesday, July 28, 2020 4:02:57 PM

Ds1 DISTURBED AREA STABILIZATION (WITH MULCH ONLY)

DEFINITION

Applying plant residues or other suitable materials not produced on the site to the soil surface.

PURPOSE

To reduce runoff and erosion; conserve moisture; prevent surface compaction or crusting; to control undesirable vegetation; to modify soil temperature; to increase biological activity in the soil.

SPECIFICATIONS

A. For temporary protection of critical areas without seeding.

This standard applies to graded or cleared areas which may be subjected to erosion for 6 months or less, where seedlings may not have a suitable growing season to produce an erosion retardant cover, but which can be stabilized with a mulch cover.

Site Preparation

1. Grade, as needed and feasible, to permit the use of equipment for applying and anchoring mulch.
2. Install needed erosion control measures as required such as dikes, diversions, berms, terraces and sediment barriers.
3. As needed and feasible, loosen compact soil to a minimum depth of 3 inches.

Mulching Materials

1. Dry straw of hay - spread at a rate of 2 1/2 tons per acre.
2. Wood waste, chips, sawdust or bark-spread 2 to 3 inches deep (about 6 to 0 tons per acre).
3. Erosion control matting or netting, such as excelsior, jute, textile and plastic matting and netting - applied in accordance with manufacturer's recommendations.
4. Cutback asphalt, slow curing - applied at 1200 gallons per acre (or 1/4 gallon per sq. yd.).
5. Polyethylene film - secured over banks or stockpiled soil material for temporary protection.

Applying and Anchoring Mulch
1. Apply straw or hay mulch uniformly by hand or mechanically. Anchor as appropriate and feasible. It may be pressed into the soil with a disk harrow with the disk set straight or with a special "packer disk". The disk may be smooth or serrated and should be 20 inches or more in diameter and 8 to 12 inches apart. The edges of the disk should be dull enough not to cut the mulch but to press it into the soil leaving much of it in an erect position.

Straw hay mulch spread with special blower-type equipment may be anchored with emulsified asphalt (Grade AE-5 or SS-1). The asphalt emulsion must be sprayed onto the mulch as it is ejected from the machine. Use 100 gallons of water per ton of mulch.

2. Spread wood waste uniformly on slopes that are 3:1 and flatter. No anchoring is needed.

3. Commercial matting and netting. Follow manufacturer's specification included with the material.

4. Apply asphalt so area has uniform appearance. (Note: Use in areas of pedestrian traffic could cause problems of "tracking in" or damage to shoes, clothing, etc.)

B. To conserve moisture and control weeds in nurseries, ornamental beds, around shrubs, and on bare areas on lawns.

Mulching Materials
Use one of the material given below and apply at thickness indicated.

Material	Depth
1. Grain straw or grass hay	6" to 10"
2. Pine Needles	4" to 6"
3. Wood waste (sawdust, bark, chips)	4" to 6"
4. Shredded residues (crop, leaves, etc.)	4" to 8"

5. Completely cover area with black polyethylene film and hold in place by placing soil on the outer edge.

When using organic mulches, apply 20-30 pounds of nitrogen in addition to the normal amount needed for plant growth to offset the tie up of N by decomposition of mulch.

Ds2 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDINGS)

PLANTS, PLANTING RATES, AND PLANTING DATES FOR TEMPORARY COVER OR COMPANION CROPS 1/

Species	Broadcast Rates 2/PLS3/ Per Acre	Per 1000 sq. ft.	Resource Area	Planting Dates (Solid lines indicate optimum dates; dotted lines indicate permissible but marginal dates.)	Remarks						
						J	F	M	A	M	J	J	A	S	O	N	D
MILLET, PEARL (Pennisetum glaucum) alone	50 lbs.	1.1 lb.	M-L, P, C	.....	88,000 Seed per pound. Quick dense cover. May reach 5 feet in height. Not recommended for mixtures.					
RYEGRASS, ANNUAL (Lolium temulentum) alone	40 lbs.	0.9 lb.	M-L, P, C	.....	227,000 seed pound. Dense cover. Very competitive and is not to be used in mixtures.					

1. Temporary cover crops are very competitive and will crowd perennials if seeded too heavily.
2. Reduce seeding rates by 50% when drilled.
3. PLS is an abbreviation for Pure Live Seed.
4. M-L represents the Mountain; Blue Ridge; and Ridges and Valleys MLRAs

P represents the Southern Piedmont MLRA
C represents Southern Coastal Plain; Sand Hills; Black Lands; and Atlantic Coast Flatwoods MLRAs

Ds3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)

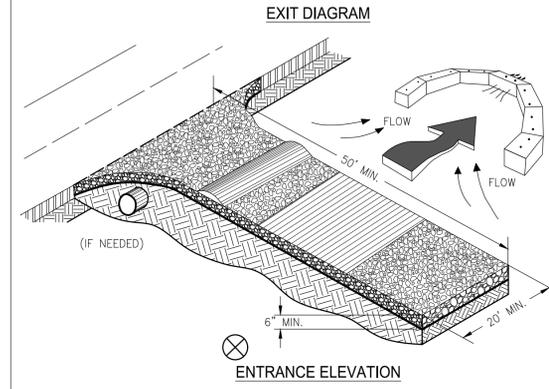
PLANTS, PLANTING RATES, AND PLANTING DATES FOR PERMANENT COVER

Species	Broadcast Rates 2/PLS3/ Per Acre	Per 1000 sq. ft.	Resource Area	Planting Dates (Solid lines indicate optimum dates; dotted lines indicate permissible but marginal dates.)	Remarks						
						J	F	M	A	M	J	J	A	S	O	N	D
BERMUDA, COMMON (Cynodon dactylon) Hulled seed alone with other perennials	10 lbs.	0.2 lb.	P, C	.....	1,787,000 seed per pound. Quick cover. Low growing and sod forming. Full sun. Good for athletic fields.					
BERMUDA, COMMON (Cynodon dactylon) Unhulled seed with temporary cover with other perennials	10 lbs.	0.2 lb.	P, C	.....	Plant with winter annuals.					
BERMUDA SPRIGS (Cynodon dactylon) Coastal, Common, Midland, or Trif 44 or sod plugs 3' x 3'	40 cu. ft.	0.9 cu. ft.	M-L, P, C	.....	A cubic foot contains approximately 600 sprigs. A bushel contains 1.25 cubic feet or approximately 800 sprigs. Same as above					
CENTPEDE (Eriopogon ophioides)	Block sod only		P, C	.....	Southern coastal plain only. Drought tolerant. Full sun or partial shade. Effective adjacent to concrete and in concentrated flow areas. Irrigation is needed until fully established. Do not plant near pastures. Winterhardy (as far north as Athens and Atlanta).					
LOVEGRASS, WEEPING (Eragrostis curvula) alone in mixtures	4 lbs.	0.1 lb.	M-L, P, C	.....	1,500,000 Seed per pound. May last for several years. Mix with Stenotaphrum secundatum.					

1. Reduce seeding rates by 50% when drilled.
2. PLS is an abbreviation for Pure Live Seed. Refer to Section V.E. of these specification.
3. M-L represents the Mountain; Blue Ridge; and Ridges and Valleys MLRAs

P represents the Southern Piedmont MLRA; C represents Southern Coastal Plain; Sand Hills; Black Lands; and Atlantic Coast

CRUSHED STONE CONSTRUCTION EXIT



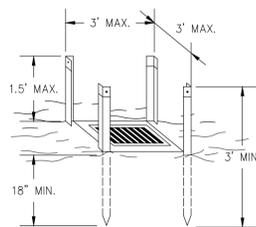
- NOTES:**
1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
 2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
 3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
 4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
 5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
 6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
 7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
 8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
 9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
 10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

NO.	REVISIONS	BY	DATE

JASON J. BRYANT, P.E.
GSWCC LEVEL II
DESIGN PROFESSIONAL
CERTIFICATION #73897

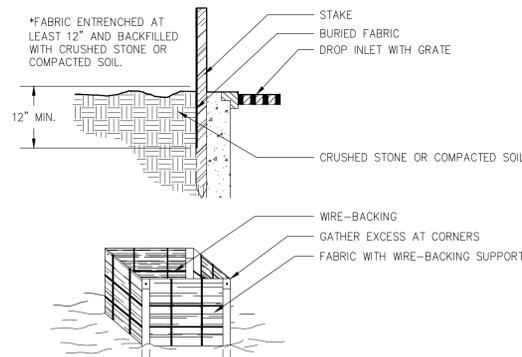
FABRIC AND SUPPORTING FRAME FOR INLET PROTECTION

STEEL FRAME AND SILT FENCE INSTALLATION

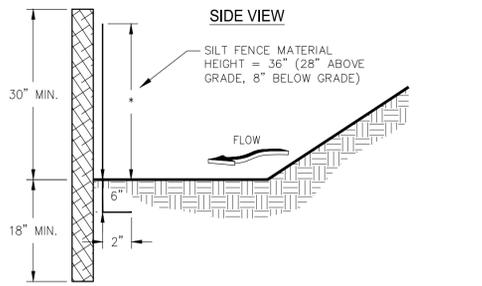


NOTES:

1. DESIGN IS FOR SLOPES NO GREATER THAN 5% (NOT DESIGNED FOR CONCENTRATED FLOWS).
2. THE STEEL POSTS SUPPORTING THE SILT FENCE MATERIAL SHOULD BE SPACED EVENLY AROUND THE PERIMETER OF THE INLET (MAXIMUM OF 3' APART).
3. THE STEEL POSTS SHOULD BE SECURELY DRIVEN AT LEAST 18" DEEP.
4. THE FABRIC SHOULD BE ENTRENCHED AT LEAST 12" AND THEN BACKFILLED WITH CRUSHED STONE OR COMPACTED SOIL.



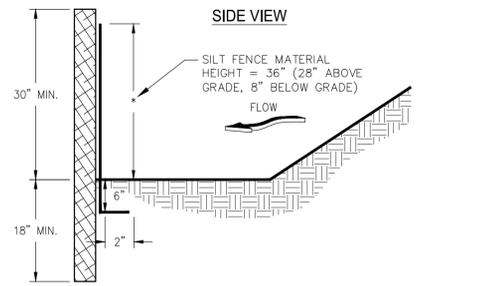
SILT FENCE - TYPE NON-SENSITIVE



NOTES:

1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
2. HEIGHT (*) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

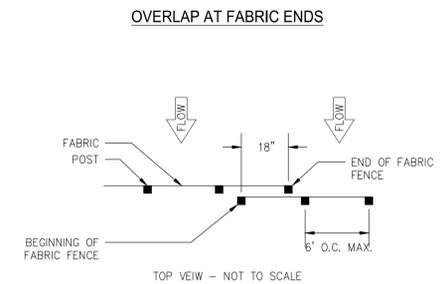
SILT FENCE - TYPE SENSITIVE



NOTES:

1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
2. HEIGHT (*) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

FASTENERS FOR SILT FENCES



NOTES:

1. THE FABRIC AND WIRE SHOULD BE SECURELY FASTENED TO POSTS AND FABRIC ENDS MUST BE OVERLAPPED A MINIMUM OF 18" OR WRAPPED TOGETHER AROUND A POST TO PROVIDE A CONTINUOUS FABRIC BARRIER AROUND THE INLET.

S:\Projects\Cove 2 Coast Marine\Drawings\Construction Plans\Cove 2 Coast Erosion Control Details.dwg

Pittman Engineering Co., LLC
2591 Hwy 175 Suite 303
Richmond Hill, GA 31324
912-445-0578
www.PittmanEngineeringCo.com

EROSION CONTROL DETAILS
LOTS 17 & 18 COASTAL HWY BUSINESS PARK
BRYAN COUNTY, GEORGIA
Prepared For
COVE 2 COAST MARINE

Project No. 20-204
Drawn By: JJB
Designed By: JJB
Checked By: RAP
Scale: 1"=30'
Date: 6/26/20

“B” Exhibits – Agency Comments

No Comments Provided

“C” Exhibits – Bryan County Supplements

Exhibit C-1



- Interstate, U.S. & State Highways, & Other Major Roads
- Roads
- Lot 17 & Lot 18
- Parcels





- Interstate, U.S. & State Highways, & Other Major Roads
- Roads
- Lot 17 & Lot 18
- Parcels

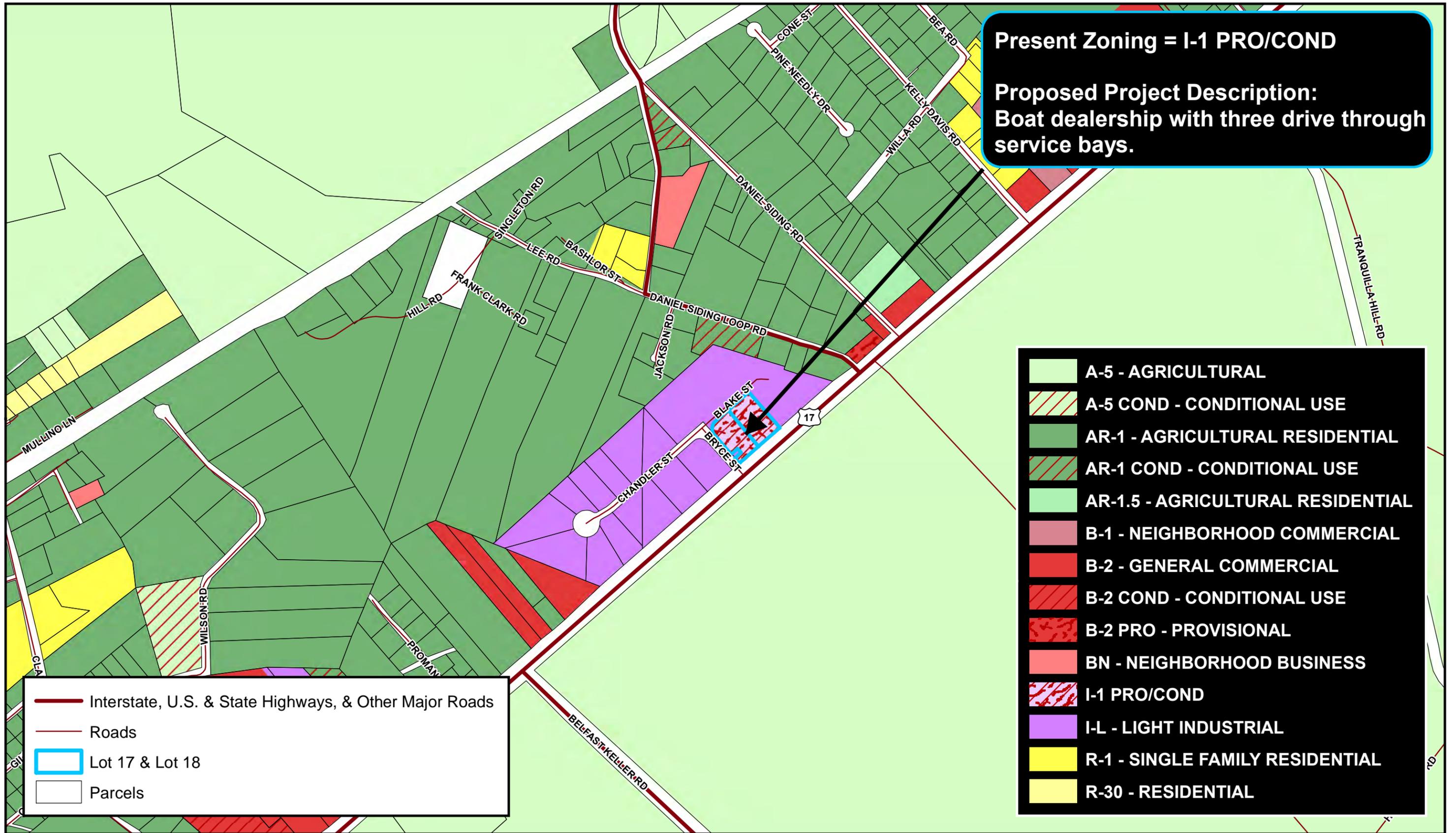


Produced by Bryan County GIS
August 2020



Location Map
Cove 2 Coast Marine - Troy Baird Exhibit C-2
Case SP# 13-20

DISCLAIMER
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Present Zoning = I-1 PRO/COND

Proposed Project Description:
 Boat dealership with three drive through service bays.

— Interstate, U.S. & State Highways, & Other Major Roads
— Roads
 Lot 17 & Lot 18
 Parcels

- A-5 - AGRICULTURAL
- A-5 COND - CONDITIONAL USE
- AR-1 - AGRICULTURAL RESIDENTIAL
- AR-1 COND - CONDITIONAL USE
- AR-1.5 - AGRICULTURAL RESIDENTIAL
- B-1 - NEIGHBORHOOD COMMERCIAL
- B-2 - GENERAL COMMERCIAL
- B-2 COND - CONDITIONAL USE
- B-2 PRO - PROVISIONAL
- BN - NEIGHBORHOOD BUSINESS
- I-1 PRO/COND
- I-L - LIGHT INDUSTRIAL
- R-1 - SINGLE FAMILY RESIDENTIAL
- R-30 - RESIDENTIAL





**Bryan County
 Non-Residential Design Guidelines
 Interim Development Ordinance
 Staff Report**

Exhibit C-4

Application Information

Address:
Applicant:
Project:
Parcel:
Description:

Design Guidelines

Building Placement (302.6.d.i.1-5) Met Not Met Lacks Information Not Applicable
 Note:

Village Design (302.6.d.ii) Met Not Met Lacks Information Not Applicable
 Note:

Neighborhood Connections (302.6.d.iii) Met Not Met Lacks Information Not Applicable
 Note:

Natural Features (302.6.d.iv) Met Not Met Lacks Information Not Applicable
 Note:

Pedestrian Access (302.6.d.v.1-3) Met Not Met Lacks Information Not Applicable
 Note:

Use Conflict (302.6.d.vi.1-3) Note:	Met	Not Met	Lacks Information	Not Applicable
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Neighborhood Access (302.6.e.i.1-4) Note:	Met	Not Met	Lacks Information	Not Applicable
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Avoid Conflict (302.6.e.ii.) Note:	Met	Not Met	Lacks Information	Not Applicable
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Throat Depth (302.6.e.iii) Note:	Met	Not Met	Lacks Information	Not Applicable
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Pedestrian Path (302.6.e.iv) Note:	Met	Not Met	Lacks Information	Not Applicable
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Special Paving (302.6.e.v.1-7) Note:	Met	Not Met	Lacks Information	Not Applicable
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Pedestrian Features (302.6.e.vi.1-3) Note:	Met	Not Met	Lacks Information	Not Applicable
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Shared Access Drives (302.6.e.vii) Note:	Met	Not Met	Lacks Information	Not Applicable
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Bike Racks (302.6.e.viii) Note:	Met	Not Met	Lacks Information	Not Applicable
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Surface Parking (302.6.f.i) Note:	Met	Not Met	Lacks Information	Not Applicable
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Small Parking Areas (302.6.f.ii) Note:	Met	Not Met	Lacks Information	Not Applicable
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Parking Location (302.6.f.iii) Note:	Met	Not Met	Lacks Information	Not Applicable
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Parking Connection (302.6.f.iv) Note:	Met	Not Met	Lacks Information	Not Applicable
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Landscape Corridor (302.6.g.i) Note:	Met	Not Met	Lacks Information	Not Applicable
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Street Trees (302.6.g.ii) Note:	Met	Not Met	Lacks Information	Not Applicable
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Accent Trees (302.6.g.iii) Note:	Met	Not Met	Lacks Information	Not Applicable
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Tree Type (302.6.g.iv) Note:	Met	Not Met	Lacks Information	Not Applicable
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General Landscape (302.6.g.v) Note:	Met	Not Met	Lacks Information	Not Applicable
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Tree Spacing (302.6.h.i) Note:	Met	Not Met	Lacks Information	Not Applicable
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Parking Coverage (302.6.h.ii) Note:	Met	Not Met	Lacks Information	Not Applicable
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Screening (302.6.i) Note:	Met	Not Met	Lacks Information	Not Applicable
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Project Entry (302.6.j) Note:	Met	Not Met	Lacks Information	Not Applicable
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Building Front (302.6.k) Note:	Met	Not Met	Lacks Information	Not Applicable
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Service Area (302.6.l) Note:	Met	Not Met	Lacks Information	Not Applicable
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Outdoor Displays (302.6.m) Note:	Met	Not Met	Lacks Information	Not Applicable
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Trash/Recycling (302.6.n) Note:	Met	Not Met	Lacks Information	Not Applicable
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Lighting (302.6.o) Note:	Met	Not Met	Lacks Information	Not Applicable
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Building Design (302.6.p.i-vi) Note:	Met	Not Met	Lacks Information	Not Applicable
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Mass, Scale, and Form (302.6.q.i-vii) Note:	Met	Not Met	Lacks Information	Not Applicable
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Mass, Scale, and Form (302.6.viii.1-3) Note:	Met	Not Met	Lacks Information	Not Applicable
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Materials/Finishes (302.6.r) Note:	Met	Not Met	Lacks Information	Not Applicable
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Rooflines (302.6.s) Note:	Met	Not Met	Lacks Information	Not Applicable
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Entries
(302.6.t)
Note:

Met

Not Met

Lacks Information

Not Applicable

Windows/Openings
(302.6.u)
Note:

Met

Not Met

Lacks Information

Not Applicable

“D” Exhibits – Public Comment

No Comments Submitted